



Planning & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8792

granted on the 27 FEB 2019

Signed DW
DURRANT OVAL

Sheet No. 1 of 27

LEGEND

- EXISTING WARWICK FARM PS
- NEW CONSTRUCTION
- EXTERNAL WORKS

4	SSDA SUBMISSION	17/12/18
3	REVISED SSDA APPLICATION	04/10/18
2	REVISED SSDA APPLICATION	31/08/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

STATE SIGNIFICANT DEVELOPMENT APPLICATION

hayball

Melbourne
4/135 Sturt Street Southbank, Victoria Australia 3005
T 0+61 3 9699 3644
www.hayball.com.au

Sydney
11-17 Buckingham Street Surry Hills 2010
T +61 2 9660 9329

Brisbane
Level 12, 324 Queen Street, Brisbane Qld 4000
T +61 7 3211 9821

NSW Nominated Architects:
Tom Jordan 7521, Richard Leonard 7522,
David Tordoff 8028, ABN 64 006 394 261

Durra/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and previous drawings. All shop drawings shall be submitted to the Architectural/Design and Construction shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2018. All rights reserved.

Client:



Education

Mainsbridge SSP

95 Lawrence Hargrave Rd, Warwick Farm
NSW 2170

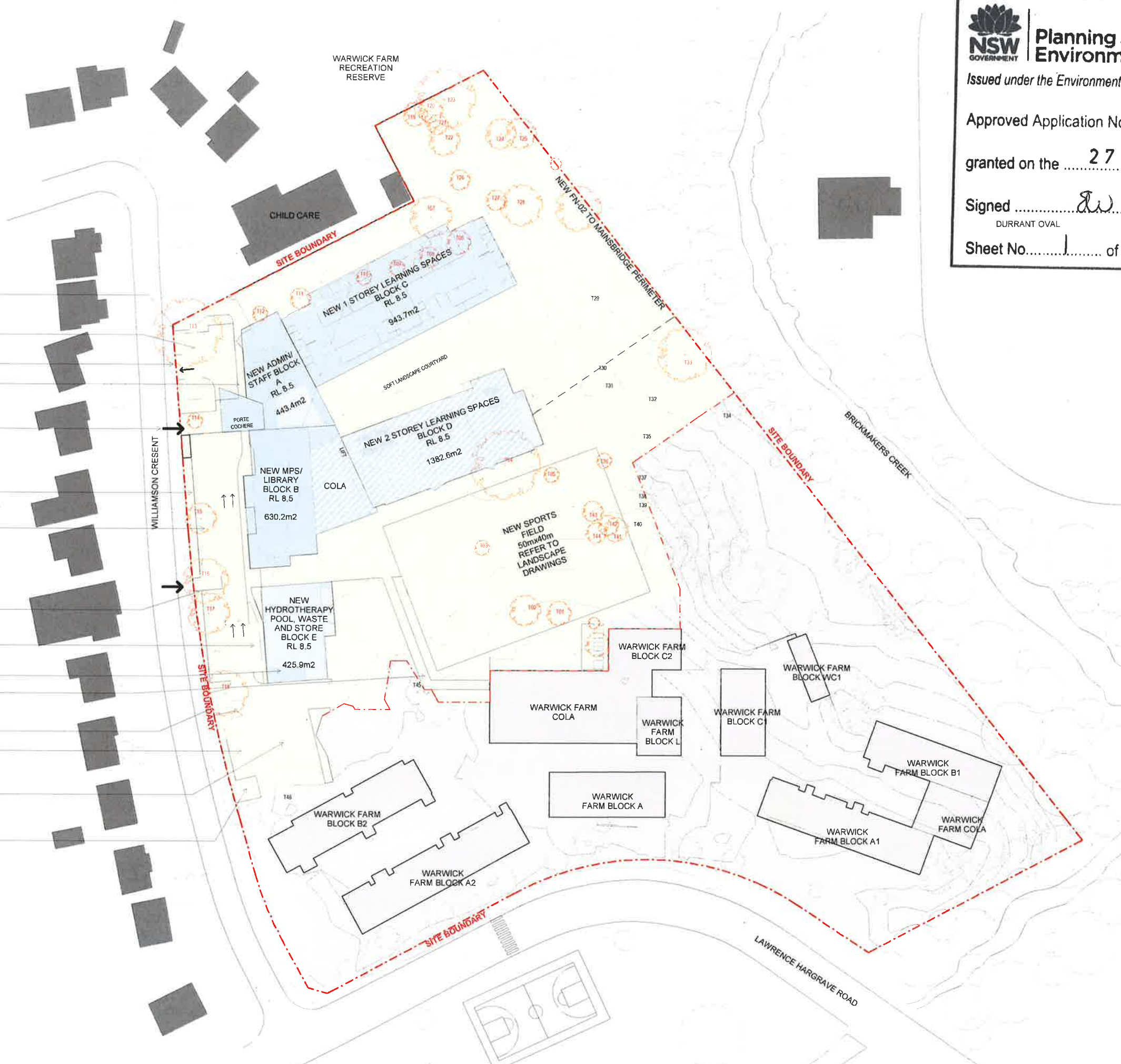
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SITE PLAN - PROPOSED

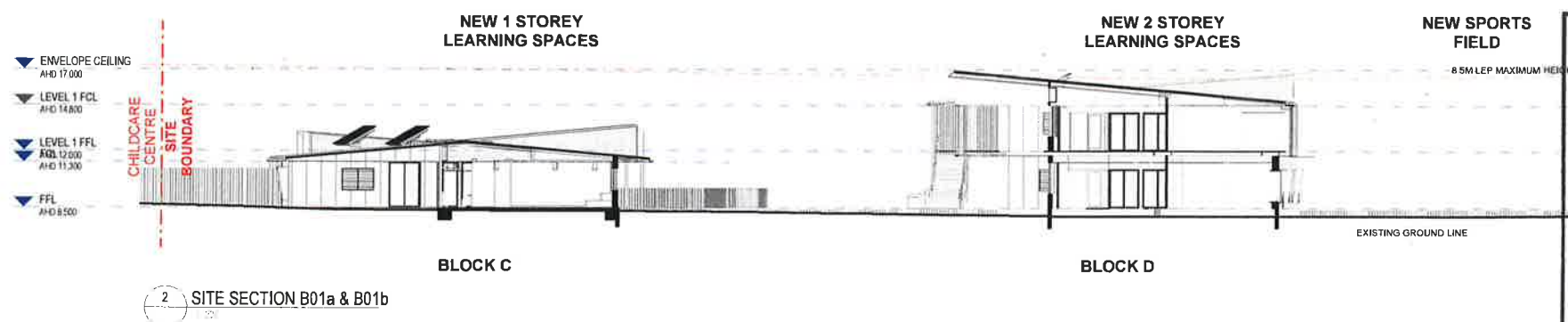
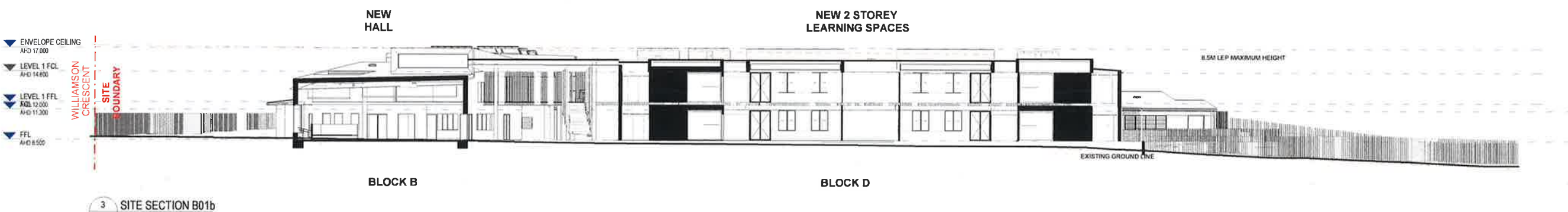
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CHECKED RC
DATE PRINTED 20/12/2018 1:01:05 PM
SCALE 1 : 500 @ A1



PROJECT NUMBER DWG NO REVISION
2141.01 01.DA01.02 4

- NEW PEDESTRIAN ACCESS
- 5 SPACE CAR & 2 COASTER BUS PARKING
- NEW VEHICLE EXIT
- ACCESSIBLE FOOTPATH
- NEW PEDESTRIAN ACCESS
- LANDSCAPED BUFFER
- 22 SPACE CAR PARKING
- NEW PEDESTRIAN ACCESS
- 2 SPACE CAR PARKING
- NEW STORES BLOCK E
- NEW ACCESSIBLE PATHWAY TO COLA
- NEW VEHICLE ENTRY
- 14 SPACE CAR PARKING
- 3 MINIBUS PARKING
- INDICATIVE ZONE FOR NEW SUBSTATION, FENCING AND GATES TO BE COORDINATED WITH ELECTRICAL PROVIDER





HEIGHT

 **NSW**
GOVERNMENT

**Planning &
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Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8792

granted on the 27 FEB 2019

Signed EW

Sheet No. 2 of 27

2	REVISED SSDA APPLICATION	31/08/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

STATE SIGNIFICANT
DEVELOPMENT APPLICATION

האגודה

Melbourne
4/135 Sturt Street Southbank, Victoria Australia 3006
T 0+61 3 9699 3644
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Sydney
11-17 Buckingham Street Surry Hills 2010
T +61 2 9660 9329

Brisbane
Level 12, 324 Queen Street, Brisbane Qld 4000
T +61 7 3211 9821

NSW Nominated Architects:
Tom Jordan 7521, Richard Leonard 7522,
David Tordoff 8028, ABN 84 006 394 261

Client



NSW
GOVERNMENT | **Education**
Mainsbridge SSP

95 Lawrence Hargrave Rd, Warwick Farm
NSW 2170

DRAWING TITLE
SITE SECTIONS

DRAWN BY EP
CHECKED RC
DATE PRINTED 28/08/2018 10:35:23 AM
SCALE 1 : 200@A1

PROJECT NUMBER	DWG NO	REVISION
2141.01	01.DA04.00	2



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Approved Application No. SSD 8792

granted on the 2.7 FEB 2019

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Sheet No. 3 of 27

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS

ROOF OVER

ROOF OVER

NEW FENCE WITH GATES

BLOCK C

BLOCK A

BLOCK B

FLOOR PLAN - GROUND

CAR PARK ENTRY

EXISTING SITE FENCE

PEDESTRIAN ENTRY

SITE BOUNDARY

CANOPY OVER

CAR PARKING

2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne
4/135
Sturt Street Southbank,
VIC 3006
T +61 3 8986 3644

Sydney
Ground Floor
11-17 Buckingham Street
Surry Hills NSW 2010
T +61 2 9660 9329

Brisbane
Level 12,
324 Queen Street,
Brisbane Qld 4000
T +61 7 3211 8821

ABN: 84006394261 NSW Nominated Architect: Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick
Farm, NSW 2170

Drawing Title
ADMIN AND HALL FLOOR PLAN -
GROUND

Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 9:48:22 AM	1:100@A1

Project No	Drawing No	Revision
2141.01	A01.DA03.01	2

Buildings/Constructors shall verify all dimensions before any job commences. Figures dimensions shall
take precedence over all other work. Work shall also conform to the specification. Other drawings and job
drawings. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not
commence prior to the return of marked shop drawings signed by the Architect/Consultant. © Copyright
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Planning & Environment

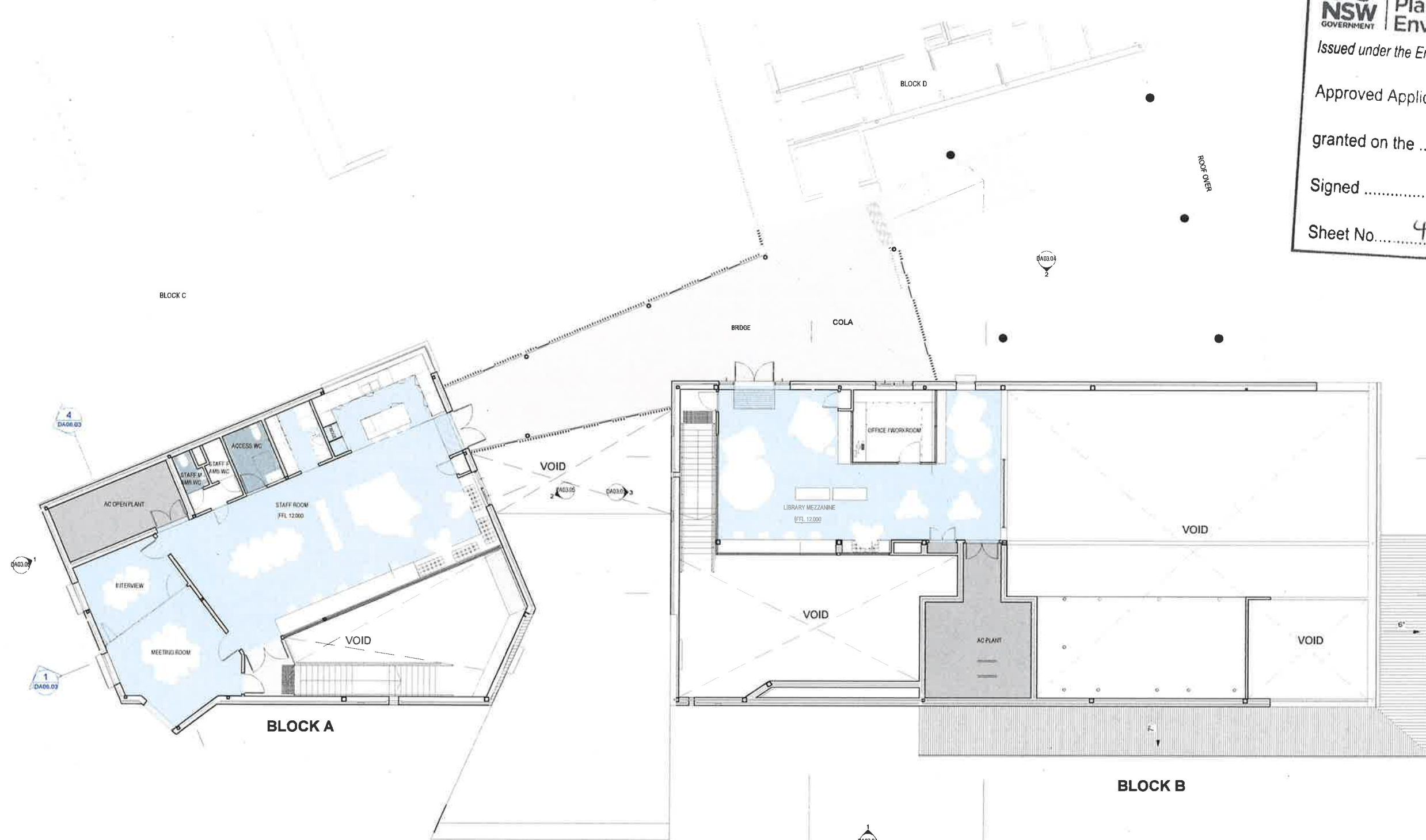
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Approved Application No. SSD 8792

granted on the ... 27 FEB 2019

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Sheet No. 4 of 27



2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date



Melbourne 4/135 Sturt Street Southbank, VIC 3006
Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
T +61 3 8698 3644 T +61 2 9660 8326 T +61 7 3211 9821
ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm, NSW 2170

Drawing Title
ADMIN AND HALL FLOOR PLAN - LEVEL 1

Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 8:48:33 AM	1:100@A1

Project No	Drawing No	Revision
2141.01	A01.DA03.02	2

Electronic/Constructive shall verify job dimensions before any job commences. If signed dimensions shall take precedence over scaled work. Users shall also confirm to the specifications other weights and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved

1 FLOOR PLAN - LEVEL 1



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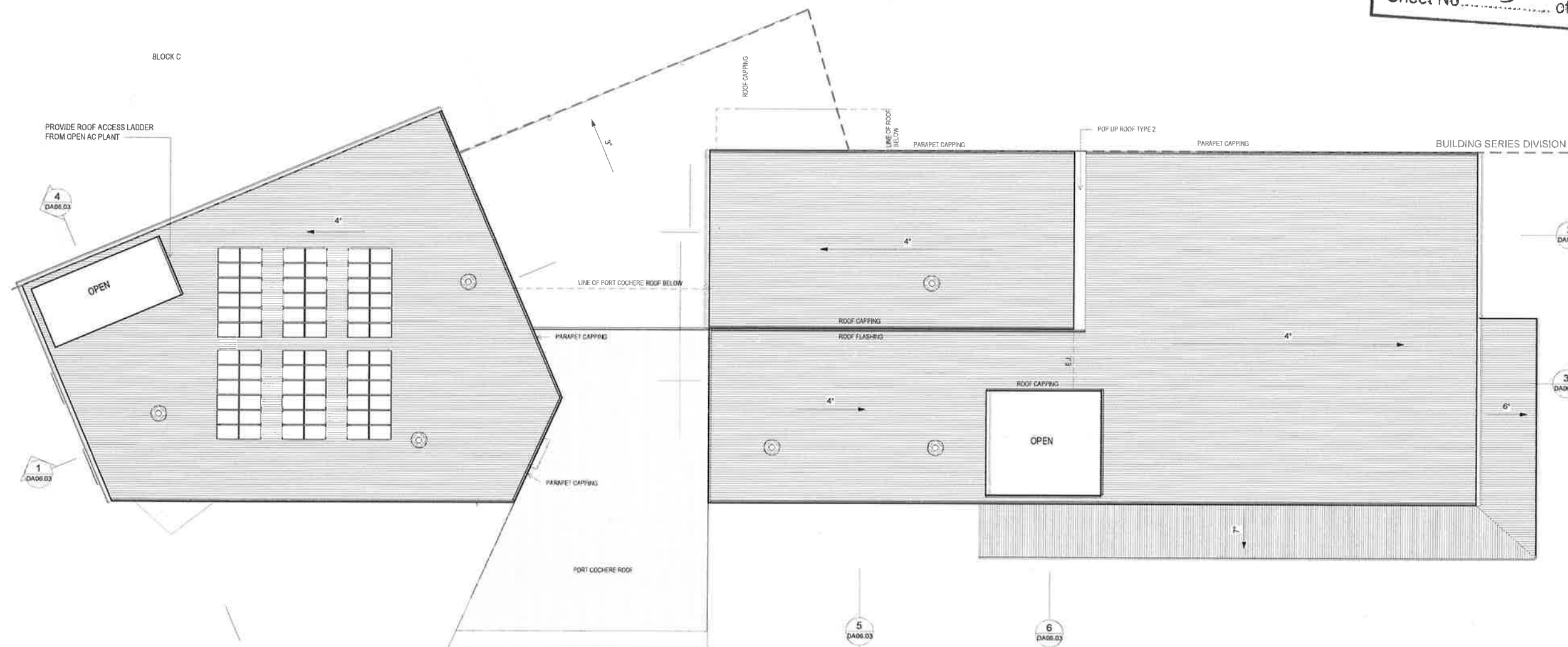
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 8792**

granted on the **27 FEB 2019**

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Sheet No. **5** of **27**



Rev	Description	Date
2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17



Melbourne 4/135 Sturt Street Southbank, VIC 3008
Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
T +61 3 8888 3844 T +61 2 9560 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tondoff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm, NSW 2170

Drawing Title
ADMIN AND HALL FLOOR PLAN - ROOF

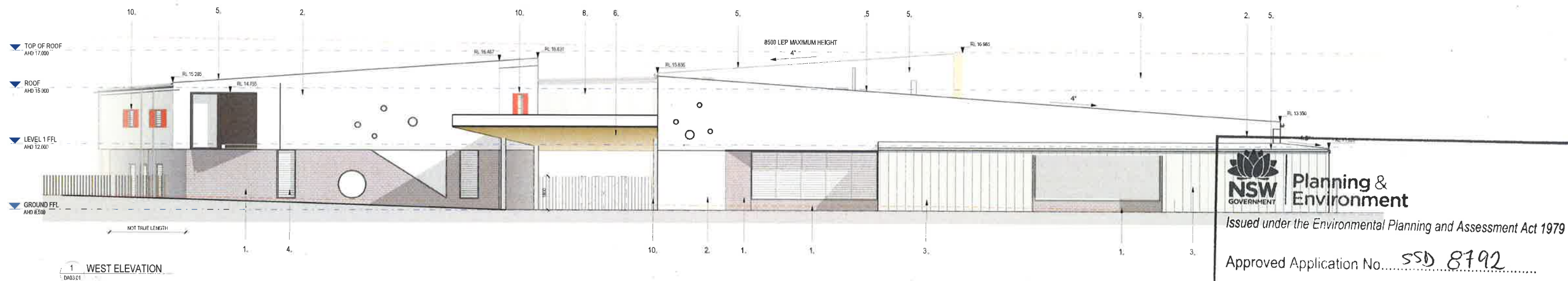
Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
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Project No	Drawing No	Revision
2141.01	A01.DA03.03	2

Buildings/structures shall only be shown on drawings after any commencement. Filled dimensions shall be provided on all drawings. Work shall conform to the Australian Standard for drawings and dimensions. All shop drawings shall be submitted to the Architect/Engineer and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Engineer. © Copyright 2018 All rights reserved.

1 FLOOR PLAN - ROOF
A06.01 1:100



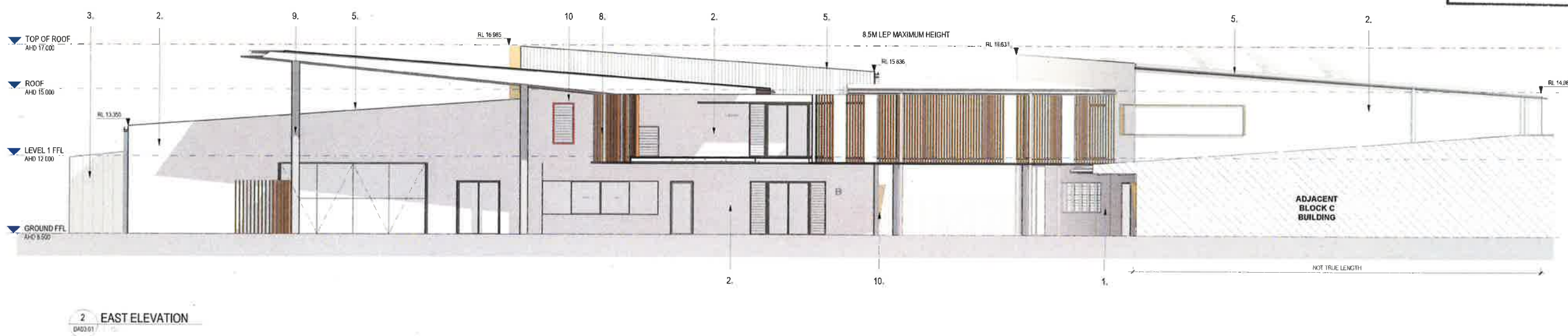
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Approved Application No. SSD 8792

granted on the 6107-83-1-2 27 FEB 2019

Signed [Signature]

Sheet No. 6 of 27



2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date



Melbourne 4/135 Sturt Street Southbank VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street Brisbane Qld 4000
 T +61 3 9599 3644 T +61 2 9550 9328 T +61 7 3211 9821

ABN: 64006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028



Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm, NSW 2170

Drawing Title
ADMIN AND HALL ELEVATIONS 1

Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 10:06:48 AM	1:100@A1

Project No	Drawing No	Revision
2141.01	A01.DA06.01	2

Builders/Contractors shall verify all dimensions before any commencement. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of stamped shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



1. PGH MOWBRAY BLUE SPLITS BRICK



2. BOWRAL CHILLINGHAM WHITE BRICK



3. CSR CEMINTEL - BARESTONE FINISH



4. ALTAIR GLASS LOUVRE SYSTEM



5. BLUESCOPE ZINCALUME ROOFING - SPANDEK PROFILE



6. PLYWOOD CLADDING



7. WRITABLE SURFACE



8. ALUMINIUM LOUVRES



9. CONCRETE-IN SITU



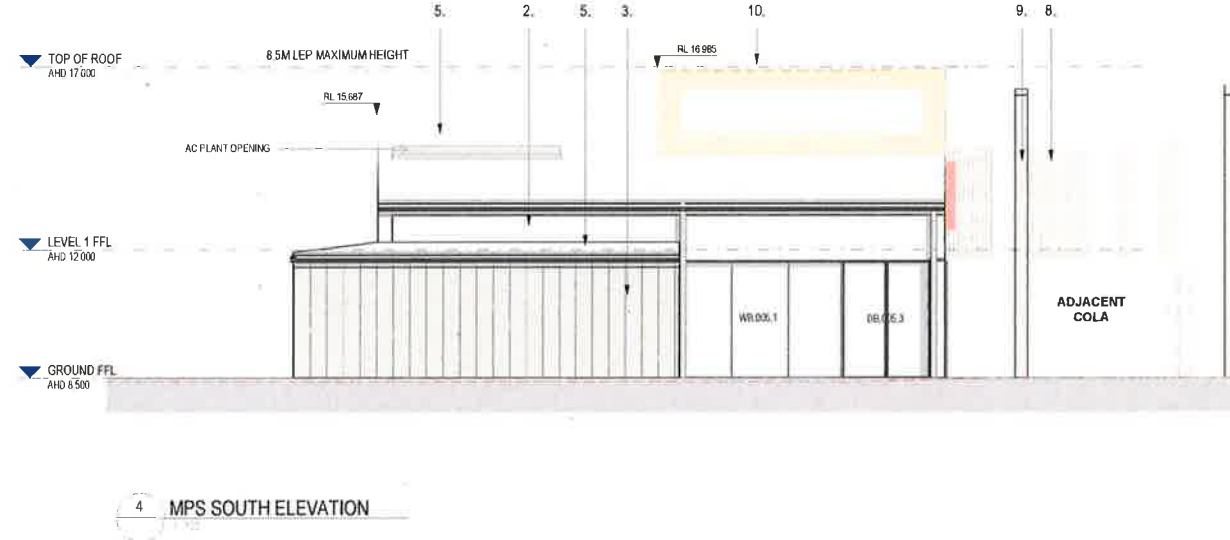
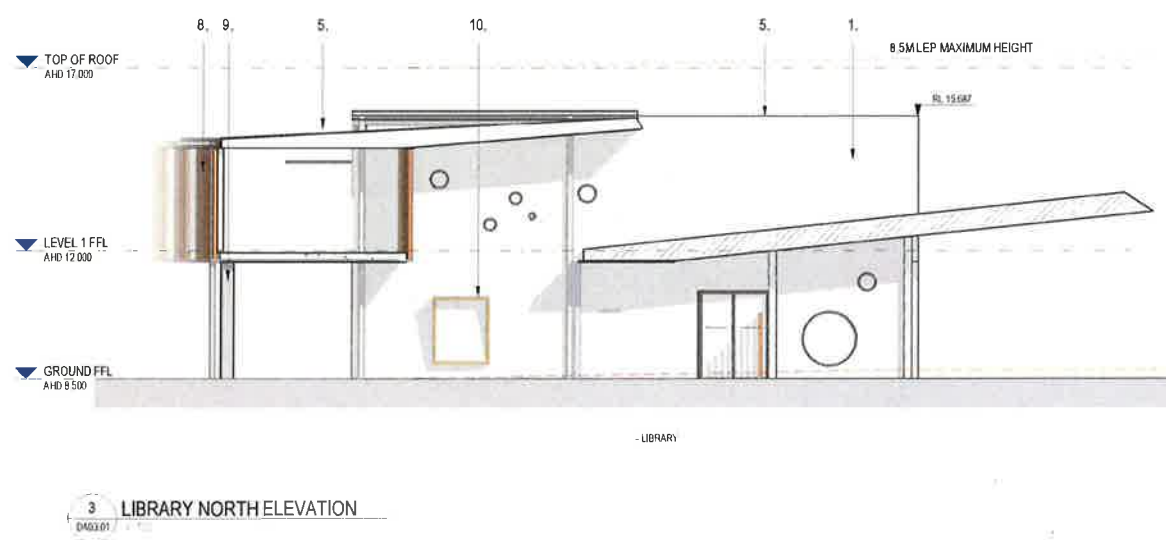
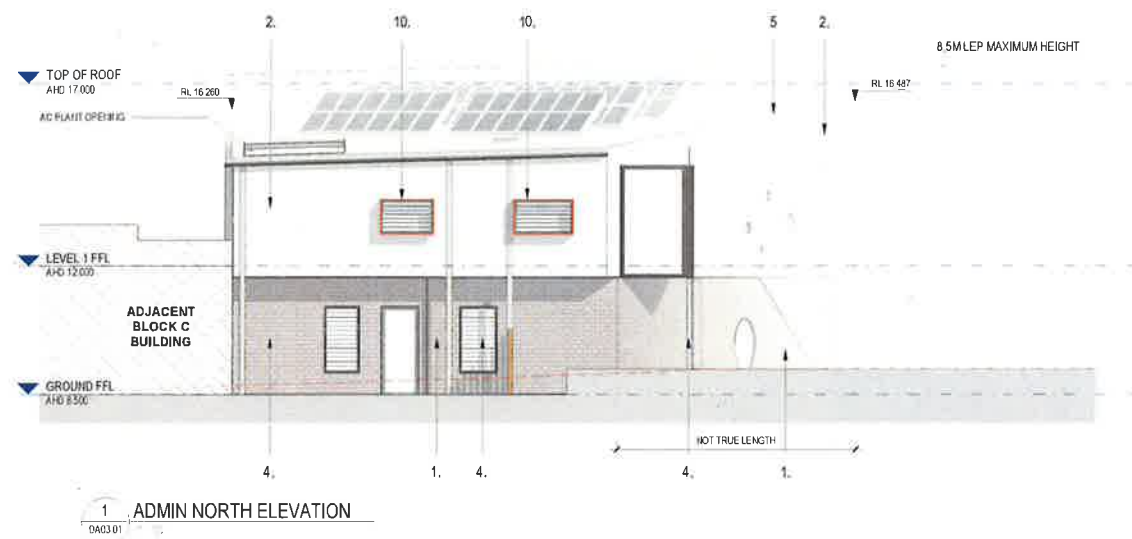
10. FOLDED ALUMINIUM



12. ARCHCLAD METAL CASSETTE PANEL SYSTEM



13. TIMBER BATTEN SCREEN



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Approved Application No. SD 8792

granted on the 27 FEB 2019

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Sheet No. 7 of 27

2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date



Melbourne	Sydney	Brisbane
4/135 Sturt Street Southbank, VIC 3005 T +61 3 9699 3644	Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9680 9329	Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006384261 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tardiff 8028



Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick
Farm, NSW 2170

Drawing Title
ADMIN AND HALL ELEVATIONS 2

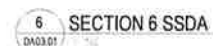
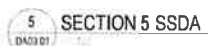
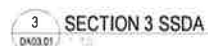
Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

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Project No	Drawing No	Revision
2141.01	A01, DA06.02	2

Builder/Contractor shall verify all dimensions before any job commences. Fitted dimensions shall take precedence over scaled work. Work shall also conform to the Architect's other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.





Sheet No. 8 of 27

Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2006 AIA mobile reserved



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Sheet No. 9 of 27



1 FLOOR PLAN - GROUND
DA06.01

2	SSDA SUBMISSION	18/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne 4/135
Sturt Street Southbank,
VIC 3005
T +61 3 8998 3644

Sydney Ground Floor
11-17 Buckingham Street
Sunny Hill NSW 2010
T +61 2 9660 9329

Brisbane Level 12,
324 Queen Street,
Brisbane Qld 4000
T +61 7 3211 8821

ABN: 84006394281 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tondoff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick
Farm, NSW 2170

Drawing Title
FLOOR PLAN - GROUND

Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 9:51:36 AM	1:100 @ A1

Project No	Drawing No	Revision
2141.01	B01a, DA03.01	2

Submitters/Constructors shall verify job dimensions before any job commences. Figure dimensions shall be precedence over scaled work. Work shall also conform to the specification other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Engineer and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Engineer. © Copyright 2018 All rights reserved.



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Sheet No. 10 of 27

SITE BOUNDARY

EXTENT OF SOLAR PANELS
SHOWN INDICATIVE ONLY

BLOCK A

1 FLOOR PLAN - ROOF

2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne
4/135
Sturt Street Southbank,
VIC 3006
T +61 3 9699 3844

Sydney
Ground Floor
11-17 Buckingham Street
Sunny Hills NSW 2010
T +61 2 9560 9329

Brisbane
Level 12,
324 Queen Street,
Brisbane Qld 4000
T +61 7 3211 9821

ABN: 84006384261 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tortoloff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick
Farm, NSW 2170

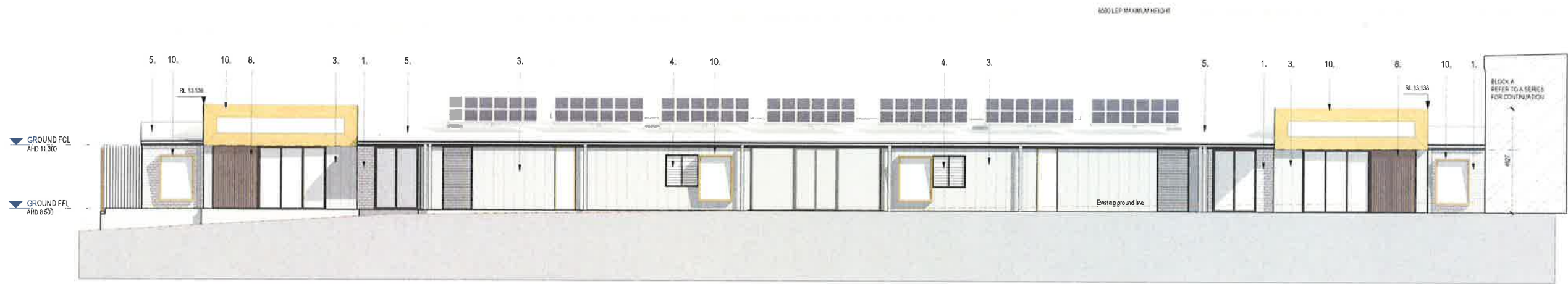
Drawing Title
FLOOR PLAN - ROOF

Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

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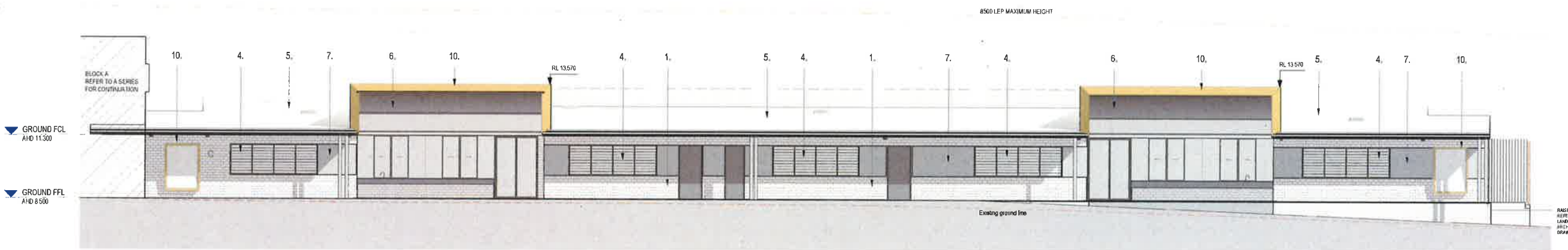
Project No	Drawing No	Revision
2141.01	B01a.DA03.02	2

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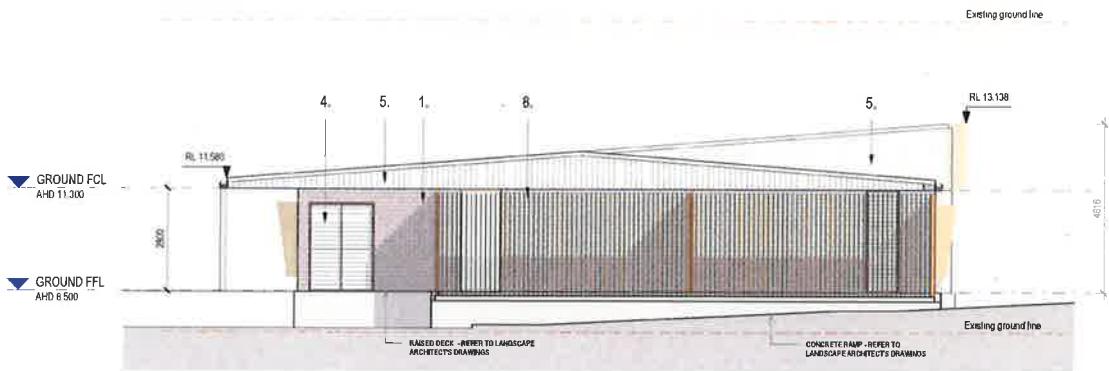
1 NORTH ELEVATION

DA03.01



2 SOUTH ELEVATION

DA03.01



3 EAST ELEVATION

DA03.01



1. PGH MOWBRAY
BLUE SPLITS BRICK



2. BOWRAL
CHILLINGHAM WHITE
BRICK



3. CSR CEMINTEL -
BARESTONE FINISH



4. ALTAIR GLASS
LOUVRE SYSTEM



5. BLUESCOPE
ZINCALUME
ROOFING - SPANDEK
PROFILE



6. PLYWOOD
CLADDING



7. WRITABLE SURFACE



8. ALUMINIUM
LOUVRES



9. CONCRETE-IN SITU



10. FOLDED ALUMINIUM



12. ARCHCLAD METAL
CASSETTE PANEL
SYSTEM



13. TIMBER BATTEN
SCREEN



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granted on the 27 FEB 2019

Signed EW

Sheet No. 11 of 27

hayball

Melbourne 4/135 Sturt Street Southbank, VIC 3006
Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm, NSW 2170

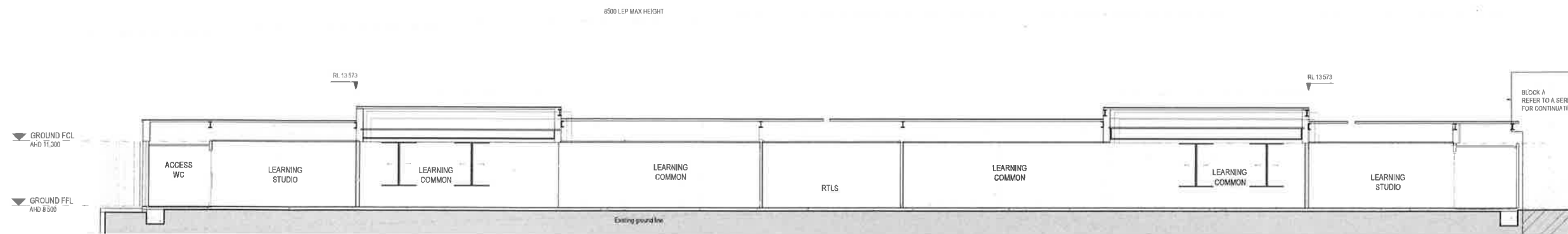
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ELEVATIONS

Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

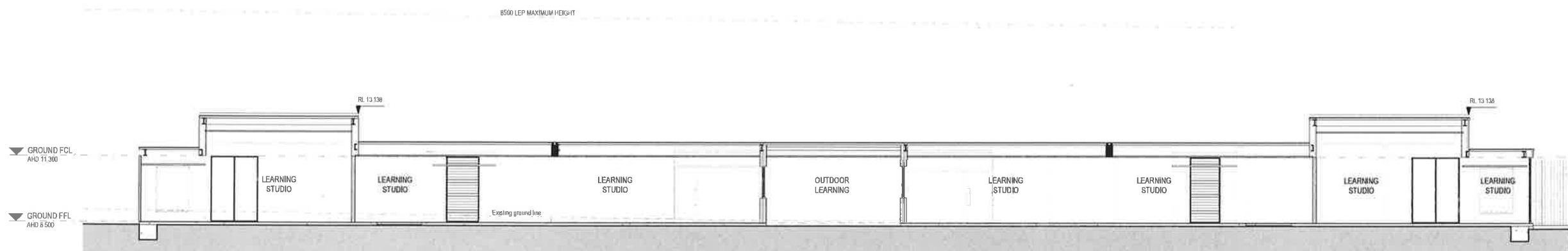
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Project No Drawing No Revision
2141.01 B01a, DA06.01 2

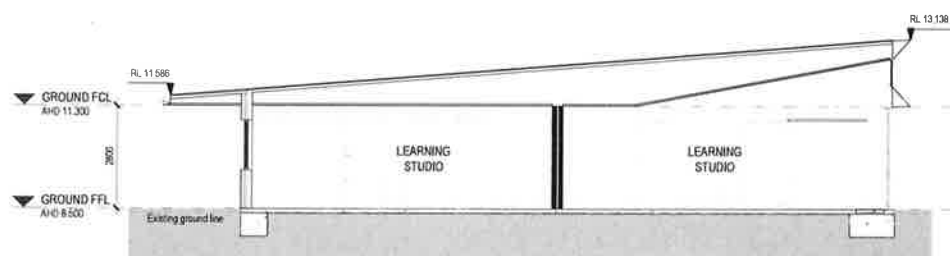
By the Contractor shall verify all dimensions before any construction. If any dimensions are found to be incorrect, the Contractor shall notify the Architect immediately. All dimensions shall be confirmed by the Architect before any construction commences. All dimensions shall be confirmed by the Architect before any construction commences. All dimensions shall be confirmed by the Architect before any construction commences.



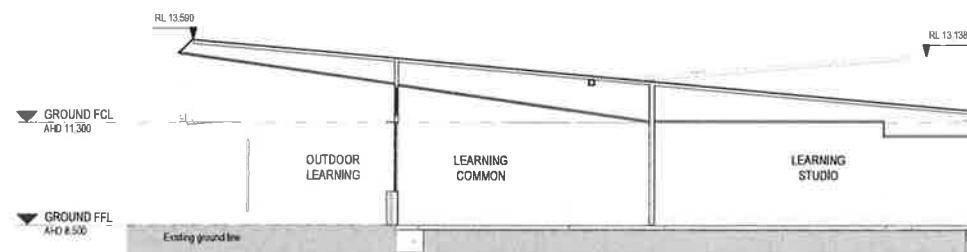
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DA03.01



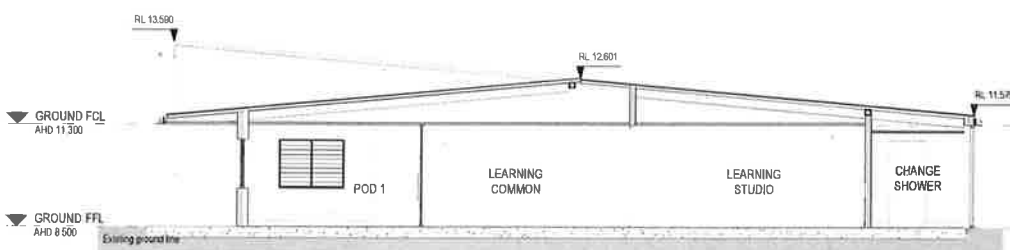
2 SECTION 2
A06.04



3 SECTION 3
DA03.01



4 SECTION 4
A06.03



5 SECTION 5
A06.03

2	SSDA SUBMISSION	16/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne 4/135 Slurt Street Southbank, VIC 3006
Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
Brisbane Level 12, 524 Queen Street, Brisbane Qld 4000
T +61 3 9689 3544 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 8408364261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028



Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm, NSW 2170

Drawing Title
SECTIONS

Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By Checked By Date Printed Scale
DH RC 12/2/2018 9:51:52 AM 1:100 @ A1

Project No Drawing No Revision
2141.01 B01a, DA06.03 2

Buildings/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over related text. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.



Planning & Environment

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Approved Application No. **SSD 8792**

granted on the **27 FEB 2019**

Signed *[Signature]*

Sheet No. **12** of **27**



1 GROUND FLOOR PLAN

A06.01

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS



Planning & Environment

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Signed [Signature]

Sheet No. 13 of 27

2	SSDA SUBMISSION	19/12/16
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date



Melbourne 4/135 Blunt Street Southbank, VIC 3006
Sydney 11-17 Buckingham Street Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street Brisbane QLD 4000

ABN: 84006394281 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028



Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm NSW 2170

Drawing Title
FLOOR PLAN - GROUND

Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 10:00:10 AM	1:100 @ A1

Project No	Drawing No	Revision
2141.01	B01b.DA03.01	2

Submitters/Contractors shall verify job dimensions before any job commencement. If job dimensions shall not be provided over a 100m scale. Work shall also conform to the NSW Public Order Drawing and Job Dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence work until the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.



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granted on the 27 FEB 2019

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Sheet No. 14 of 27



2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne 4/135 Start Street Southbank, VIC 3006
Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 9028



Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm
NSW 2170

Drawing Title
FLOOR PLAN - LEVEL 1

Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 10:00 21 AM	1:100 @ A1

Project No	Drawing No	Revision
2141.01	B01b.DA03.02	2

Builders/Constructors shall verify job dimensions before any job commences. Signed dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2018 All rights reserved.

1 LEVEL 1 PLAN



Planning &
Environment

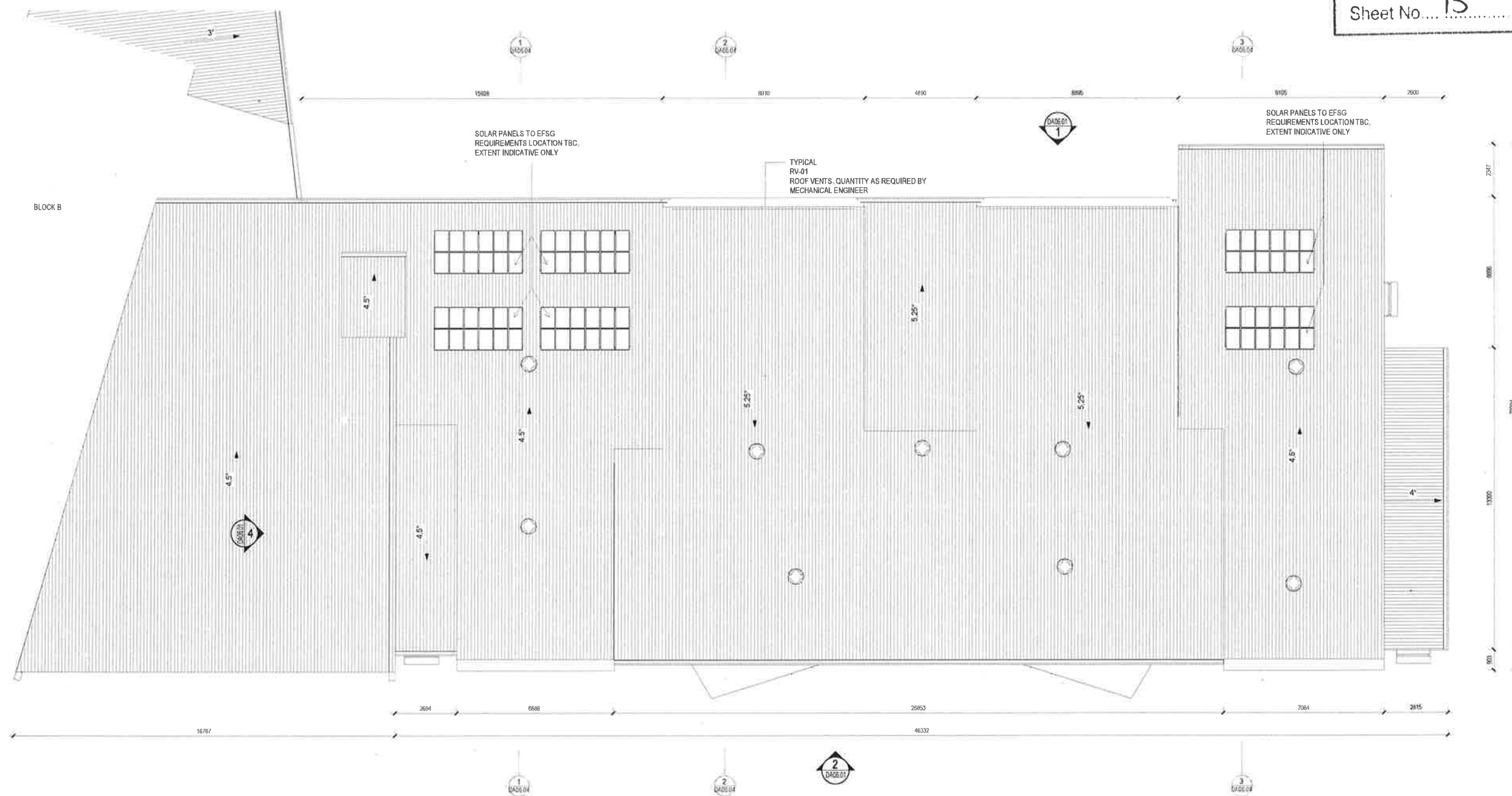
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8792

granted on the 27 FEB 2019

Signed aw

Sheet No. 15 of 27



2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne
4/135
Sturt Street Southbank,
VIC 3006
T +61 3 9590 3644

Sydney
Ground Floor
11-17 Buckingham Street
Sunny Hills NSW 2010
T +61 2 9560 9379

Brisbane
Level 12,
324 Queen Street,
Brisbane Qld 4000
T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tortoff 6026



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick
Farm
NSW 2170

Drawing Title
FLOOR PLAN - ROOF

Status
STATE SIGNIFICANT
DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 10:00:25 AM	1: 100 @ A1

Project No	Drawing No	Revision
2141.01	B01b, DA03.03	2

Students/Contractors shall verify all dimensions before any job commences. Figures dimensions shall be a precedence over scaled work. Work shall also conform to the specification other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Engineer and manufacturer shall not commence until the return of requested shop drawings signed by the Architect/Engineer. © Copyright 2008 All rights reserved.

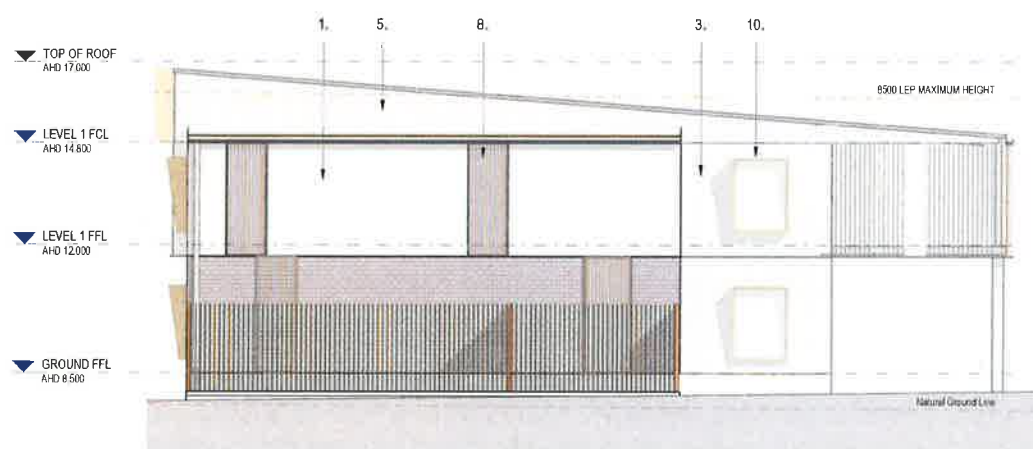
1 ROOF PLAN



1 NORTH ELEVATION



2 SOUTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION



NSW GOVERNMENT | **Planning & Environment**

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Approved Application No. SSD8792

granted on the 27 FEB 2019

Signed aw

Sheet No. 16 of 27

2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne
4/135
Sturt Street Southbank,
VIC 3006
T +61 3 9589 3644

Sydney
Ground Floor
11-17 Buckingham Street
Sunny Hills NSW 2010
T +61 2 9666 9329

Brisbane
Level 12,
324 Queen Street,
Brisbane Qld 4000
T +61 7 3211 9821

ABN: 64006384261 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028

NSW GOVERNMENT | **Education**

Project Title
Mainsbridge SSP

Project Address
**95 Lawrence Hargrave Rd, Warwick
Farm
NSW 2170**

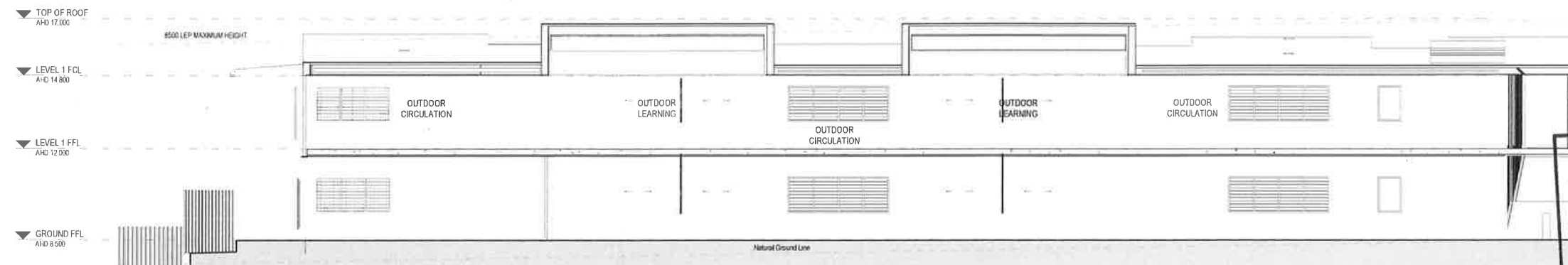
Drawing Title
ELEVATIONS

Status
**STATE SIGNIFICANT
DEVELOPMENT APPLICATION**

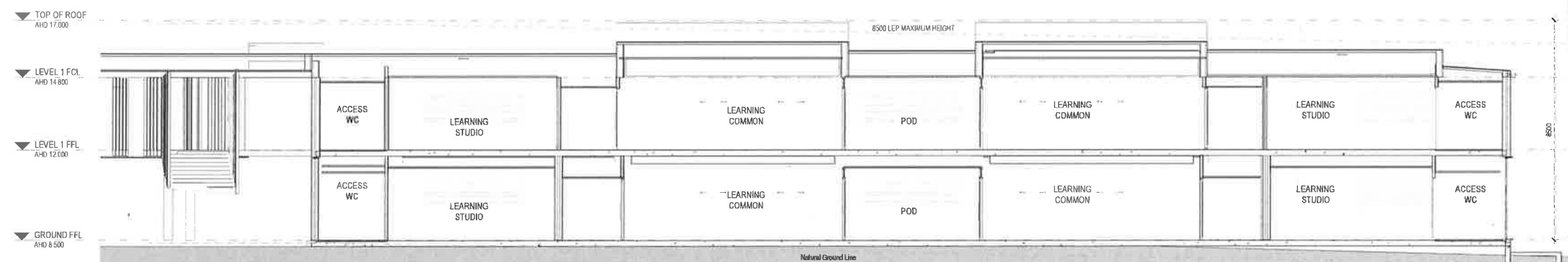
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Project No	Drawing No	Revision
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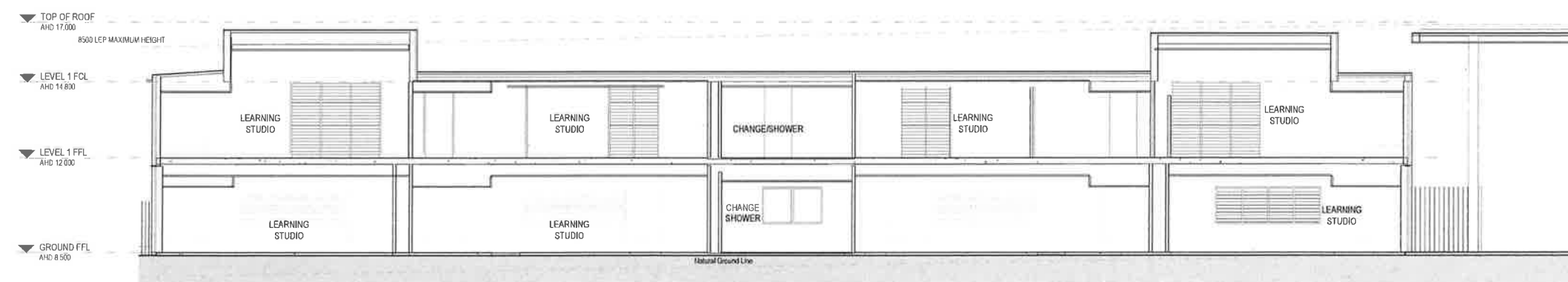
Builder/Contractor shall verify all dimensions before any construction. Signed dimensions shall take precedence over scaled work. Work shall also conform to the Australian Standard drawing and plot standards. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



1 SECTION 1
A03.02



2 SECTION 2
A03.02



3 SECTION 3
A03.02



Planning & Environment

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Approved Application No. **SSD 8792**

granted on the **27 FEB 2019**

Signed **EW**

Sheet No. **17** of **27**

2	SSDA SUBMISSION	19/12/18
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date



Melbourne 4/135 Sturt Street Southbank, VIC 3006 T +61 3 9690 3644	Sydney Ground Floor 11-17 Buskingham Street Sunny Hills NSW 2010 T +61 2 9690 9329	Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 8821
---	---	---

ABN: 84006384261 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028



Education

Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm NSW 2170

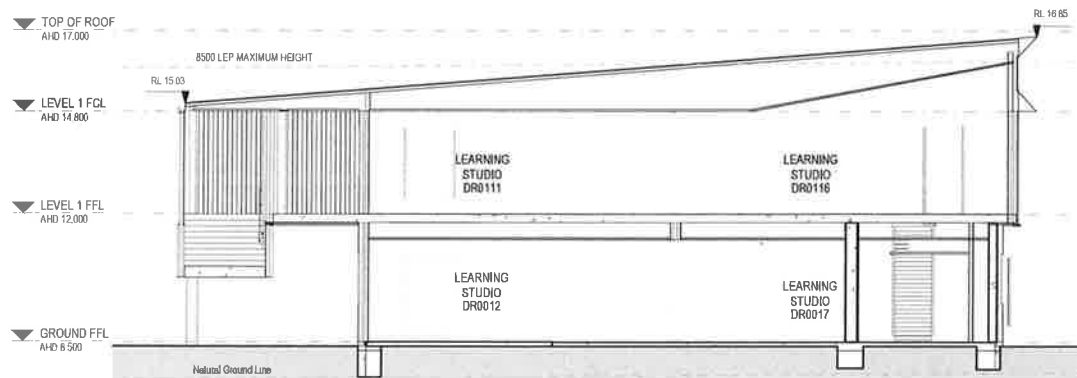
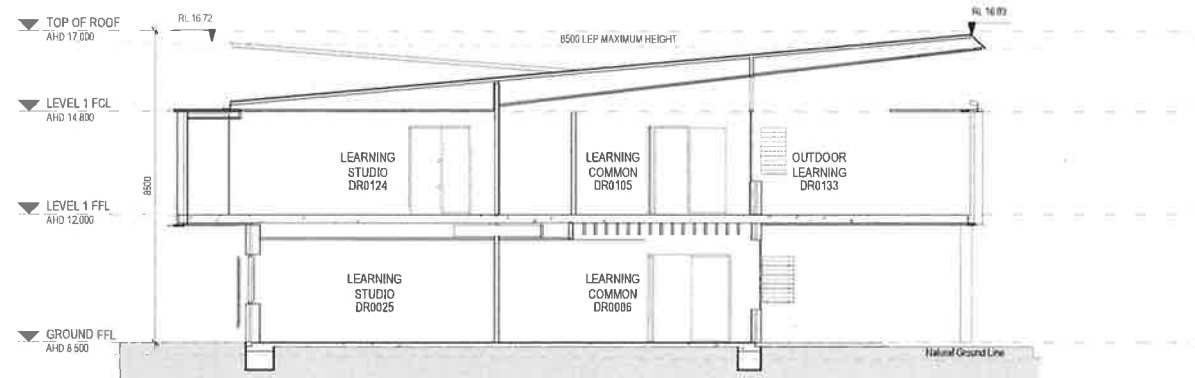
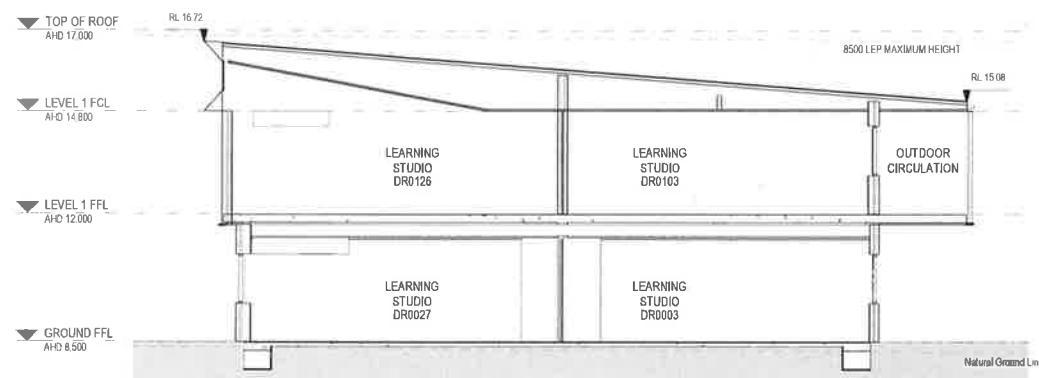
Drawing Title
SECTIONS

Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 10:00:49 AM	1:100 @ A1

Project No	Drawing No	Revision
2141.01	B011b_DA06.03	2

Buildings/Constructors shall verify all dimensions before any construction. Figures and dimensions shall take precedence over all other work. Works shall also conform to the specification, other drawings and all other documents. All shop drawings shall be submitted to the Architect/Consultant and manufactured shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2018 All rights reserved.



2	SSDA SUBMISSION	19/12/16
1	SSDA SUBMISSION	22/11/17
Rev	Description	Date

hayball

Melbourne 4/135 Sturt Street Southbank, VIC 3006 T +61 3 9688 3644
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9339
 Brisbane Level 12, 324 Queen Street, Brisbane Cld 4000 T +61 7 3211 9821

ABN: 64006384261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028



Project Title
Mainsbridge SSP

Project Address
95 Lawrence Hargrave Rd, Warwick Farm NSW 2170

Drawing Title
SECTIONS

Status
STATE SIGNIFICANT DEVELOPMENT APPLICATION

Drawn By	Checked By	Date Printed	Scale
DH	RC	12/21/2018 10:00:54 AM	1:100@ A1

Project No	Drawing No	Revision
2141.01	B011b.DA06.04	2

Builders/Contractors shall verify all dimensions before any commencement. Printed dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

NSW GOVERNMENT | **Planning & Environment**

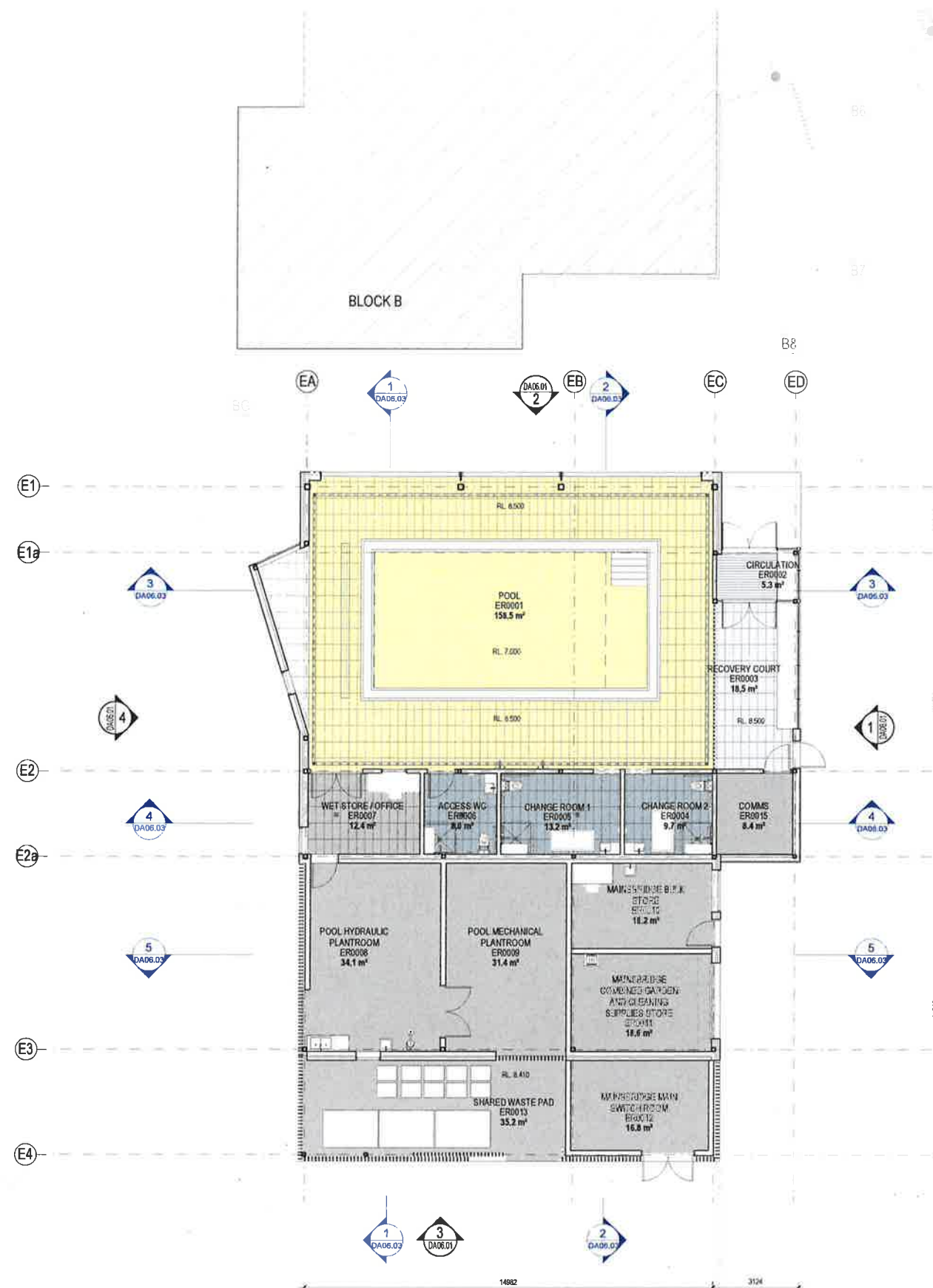
Issued under the *Environmental Planning and Assessment Act 1979*

Approved Application No. SSD 8792

granted on the 27 FEB 2019

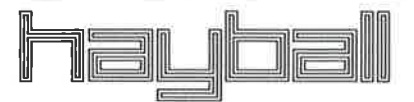
Signed ew

Sheet No. 18 of 27



2	REVISED SSDA APPLICATION	17/10/18
1	REVISED SSDA APPLICATION	31/08/18
Rev	Description	Date

STATE SIGNIFICANT DEVELOPMENT APPLICATION



Melbourne
4/135 Sturt Street Southbank, Victoria Australia 3006
T +61 3 9689 3644
www.hayball.com.au

Sydney
71/ 26-32 Pirrama Road, Pyrmont NSW 2009
T +61 2 9660 9329

Brisbane
Level 12, 324 Queen Street, Brisbane Qld 4000
T +61 7 3211 9821

NSW Nominated Architects:
Tom Jordan 7521, Richard Leonard 7522,
David Tordoff 6028, ABN 84 006 394 261

Hayball/Contractors shall verify all dimensions before any construction. If signed dimensions are to be provided over all work. Work shall also conform to the Australian standard and all dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

Client:



Mainsbridge SSP

BLOCK E

Lawrence Hargrave Rd, Warwick Farm
NSW 2170

DRAWING TITLE
FLOORPLAN - GROUND

DRAWN BY EP
CHECKED RC
DATE PRINTED 18/10/2018 12:57:18 PM
SCALE 1 : 100@A1



PROJECT NUMBER DWG NO REVISION
2141.01 P01.DA03.01 2



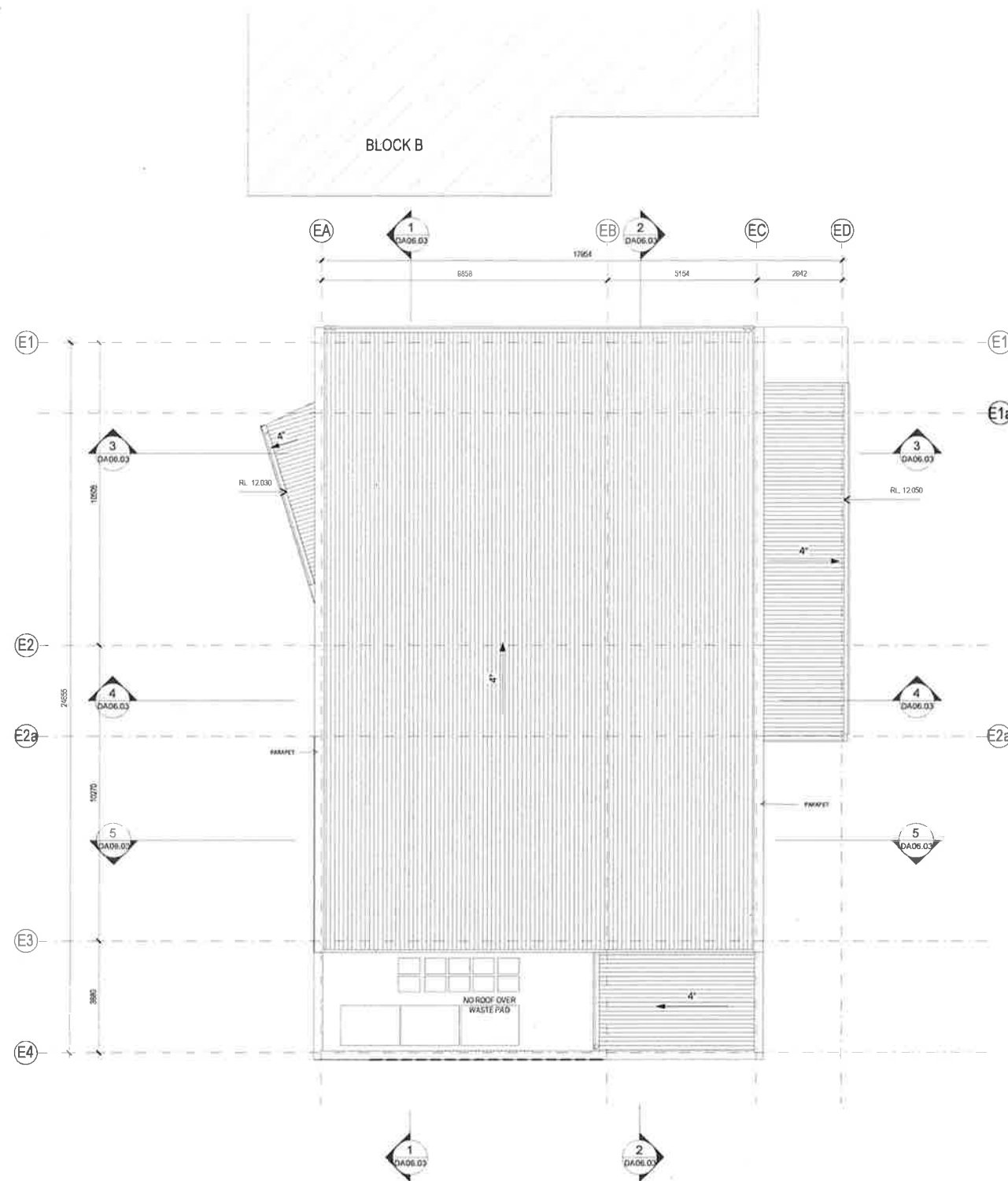
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Approved Application No. **SSD 8792**

granted on the **27 FEB 2019**

Signed *[Signature]*

Sheet No. **19** of **27**



NOTES:
 1. PROVIDE ROOF SAFETY ACCESS SYSTEM TO ALL ROOFS
 2. READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS



Planning & Environment

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Approved Application No. SSD 8792

granted on the 27 FEB 2019

Signed [Signature]

Sheet No. 20 of 27

2	REVISED SSDA APPLICATION	17/10/18
1	REVISED SSDA APPLICATION	31/08/18
Rev	Description	Date

STATE SIGNIFICANT DEVELOPMENT APPLICATION



Melbourne
 4/135 Sturt Street Southbank, Victoria Australia 3006
 T 0+61 3 9699 3544
 www.hayball.com.au

Sydney
 71/ 26-32 Pirrama Road, Pyrmont NSW 2009
 T +61 2 9660 9329

Brisbane
 Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 7 3211 9821

NSW Nominated Architects:
 Tom Jordan 7521, Richard Leonard 7522,
 David Tordoff 8028, ABN 64 006 394 261

Subs/Contractors shall verify job dimensions before any job commences. If agreed dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and must be signed and dated prior to the return of requested shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.

Client:



Education

Mainsbridge SSP

BLOCK E

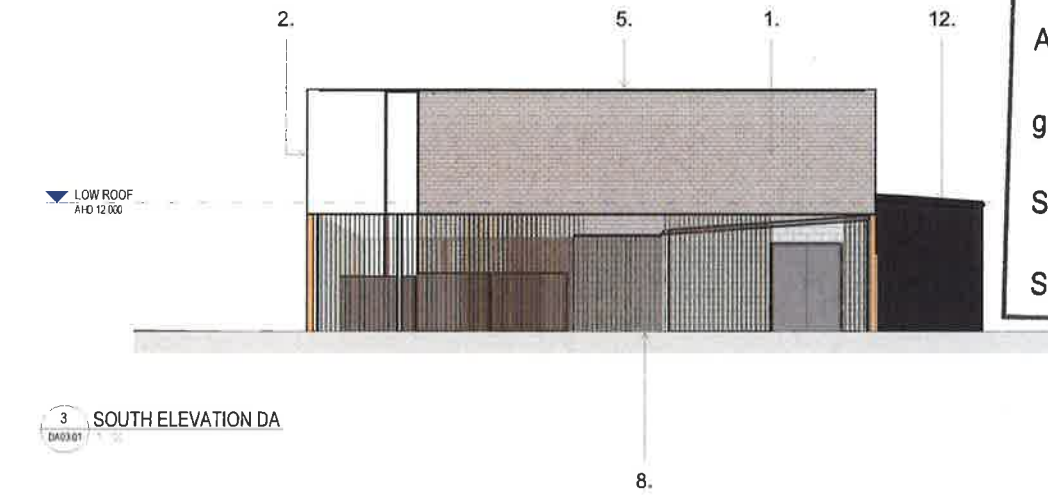
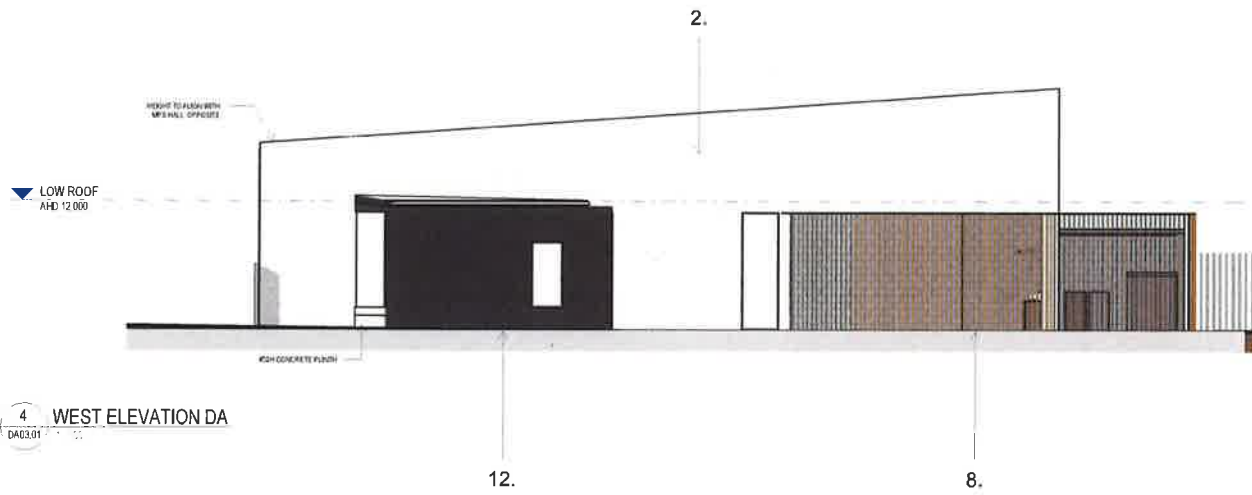
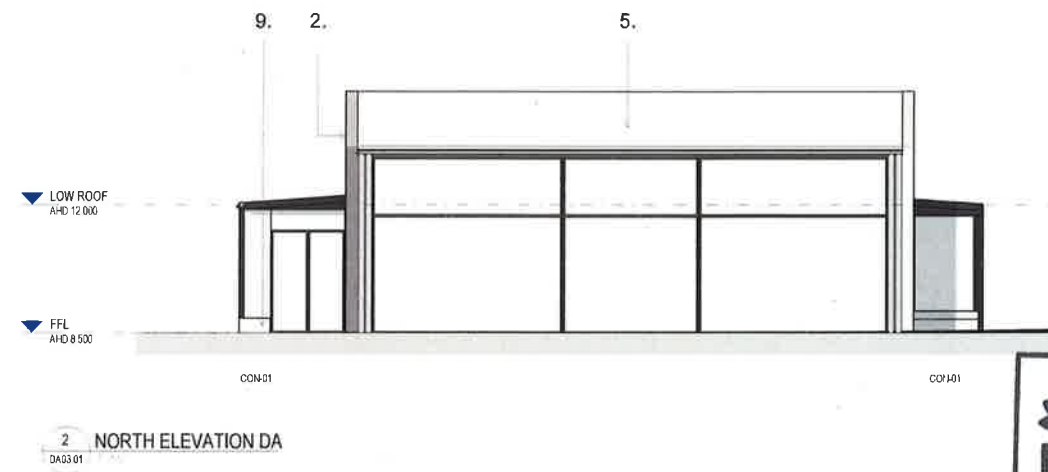
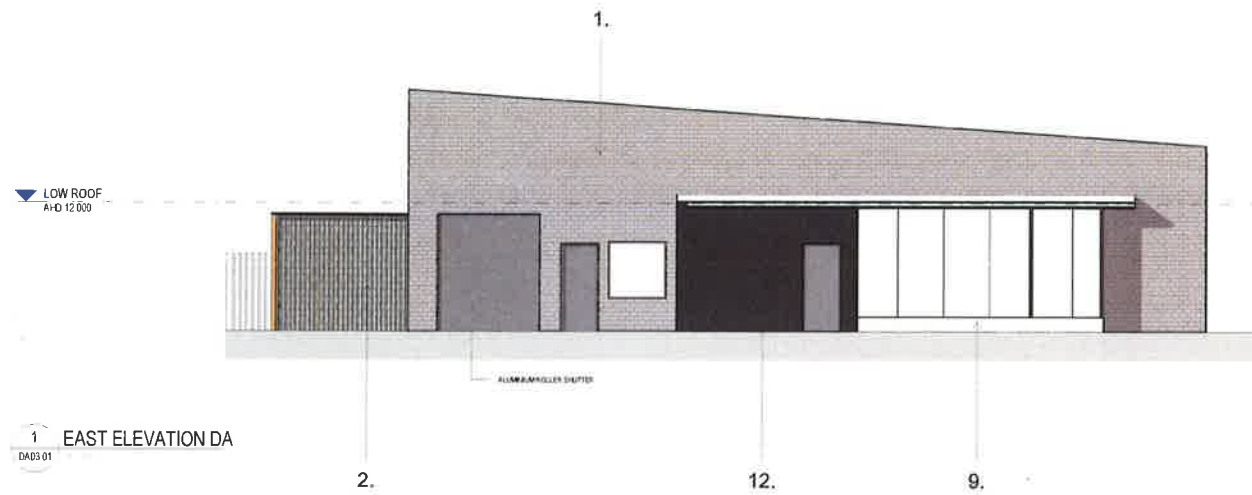
Lawrence Hargrave Rd, Warwick Farm
 NSW 2170

DRAWING TITLE
FLOOR PLAN - ROOF

DRAWN BY EP
 CHECKED RC
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PROJECT NUMBER DWG NO REVISION
2141.01 P01.DA03.02 2



NSW GOVERNMENT | **Planning & Environment**
 Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No. SSD 8792
 granted on the 27 FEB 2019
 Signed EW
 Sheet No. 21 of 27

2	REVISED SSDA APPLICATION	17/10/18
1	REVISED SSDA APPLICATION	31/08/18
Rev	Description	Date

STATE SIGNIFICANT DEVELOPMENT APPLICATION



Melbourne
 4/135 Sturt Street Southbank, Victoria Australia 3006
 T +61 3 9699 3644
 www.hayball.com.au

Sydney
 71/ 26-32 Pirrama Road, Pyrmont NSW 2009
 T +61 2 9660 9329

Brisbane
 Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 7 3211 9821

NSW Nominated Architects:
 Tom Jordan 7521, Richard Leonard 7522,
 David Tordoff 8028, ABN 64 006 394 261

Builders/Contractors shall verify job dimensions before any job commences. If found dimensions shall take precedence over scaled work. Work shall also conform to the specifications in other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

Client:

NSW GOVERNMENT | **Education**
Mainsbridge SSP

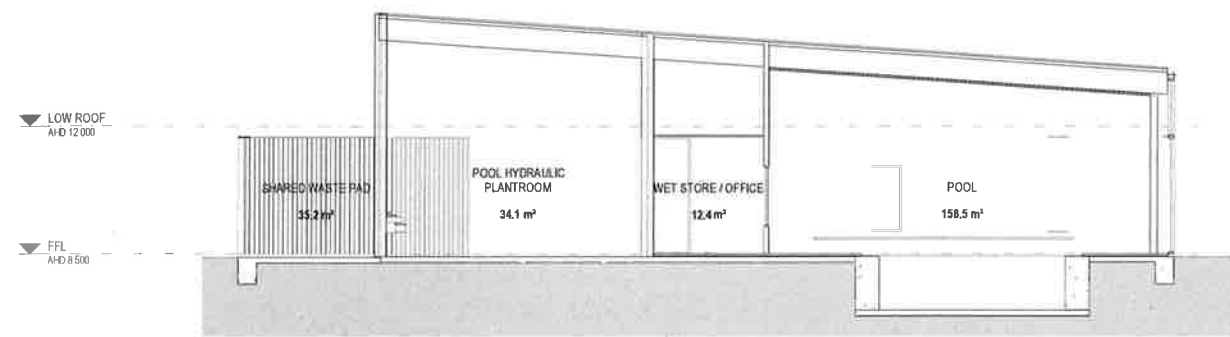
Lawrence Hargrave Rd, Warwick Farm
 NSW 2170

DRAWING TITLE
ELEVATIONS

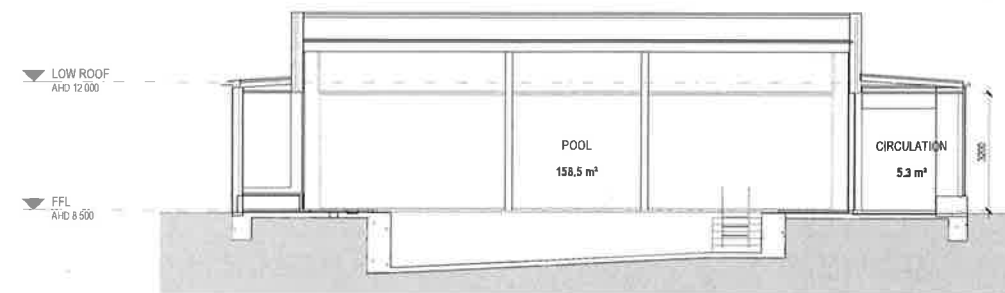
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PROJECT NUMBER DWG NO REVISION
2141.01 P01.DA06.01 2

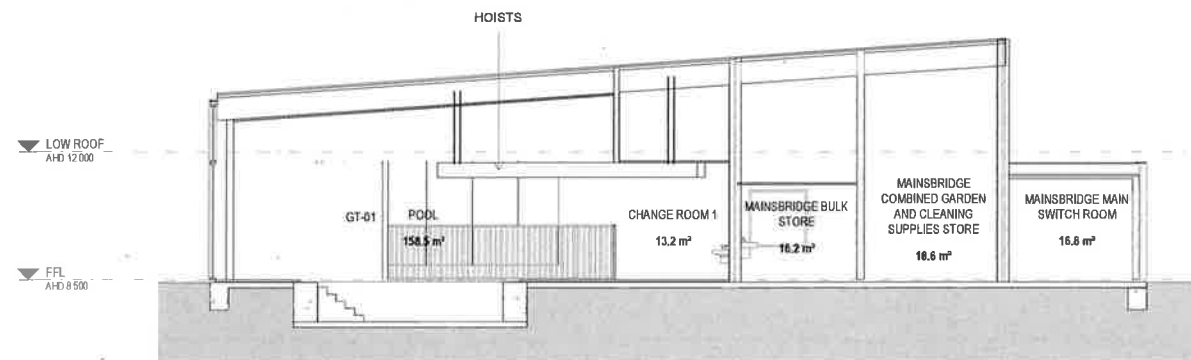




1 SECTION 1 SSDA
DA03.01



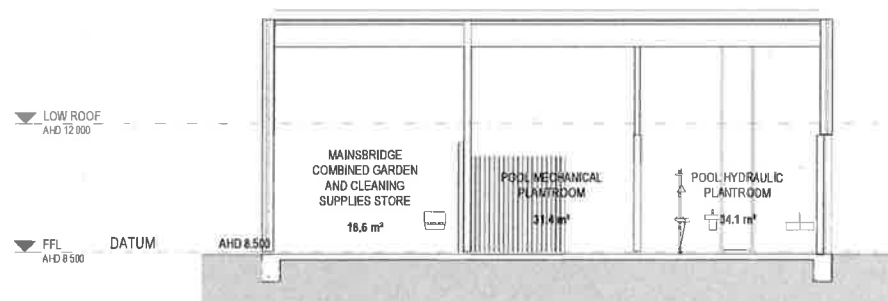
3 SECTION 2 SSDA
DA03.01



2 SECTION 3 SSDA
DA03.01



4 SECTION 4 DA
DA03.01



5 SECTION 5 DA
DA03.01

2	REVISED SSDA APPLICATION	17/10/18
1	REVISED SSDA APPLICATION	31/08/18
Rev	Description	Date

STATE SIGNIFICANT DEVELOPMENT APPLICATION

hayball

Melbourne
4/135 Sturt Street Southbank, Victoria Australia 3006
T 0+61 3 9689 3644
www.hayball.com.au

Sydney
7/1/26-32 Pirrama Road, Pyrmont NSW 2009
T +61 2 9660 5328

Brisbane
Level 12, 324 Queen Street, Brisbane Qld 4000
T +61 7 3211 9821

NSW Nominated Architects:
Tom Jordan 7521, Richard Leonard 7522,
David Tordoff 8028, ABN 84 006 394 261

Submitters/clients are to verify all dimensions before any construction. Figures dimensions and data are not to be used as a basis for construction. All drawings shall be submitted to the Architect/Consultant and must be confirmed in writing to the return of inspected drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

Client:

NSW **Education**
Mainsbridge SSP

Lawrence Hargrave Rd, Warwick Farm
NSW 2170

DRAWING TITLE
SECTIONS

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CHECKED RC
DATE PRINTED 18/10/2018 12:49:19 PM
SCALE 1:100@A1

PROJECT NUMBER DWG NO REVISION
2141.01 P01.DA06.03 2

NSW **Planning & Environment**
GOVERNMENT
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8792

granted on the 27 FEB 2019

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Sheet No. 22 of 27



Planning &
Environment

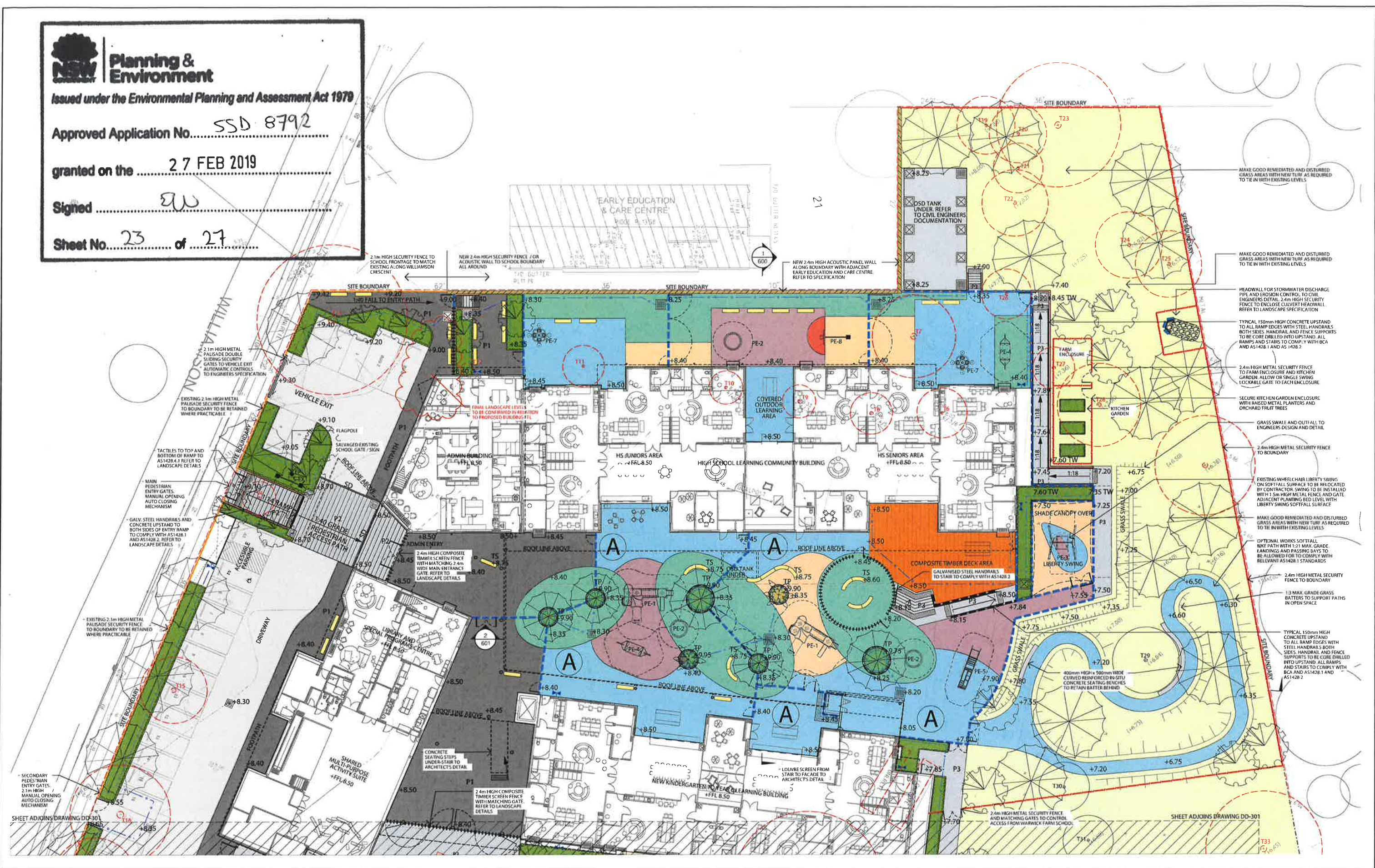
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8792

granted on the 27 FEB 2019

Signed [Signature]

Sheet No. 23 of 27



REVISIONS				
REV	DESCRIPTION	DATE	DRAWN	CHKD
0	TENDER ISSUE	07.09.2018	JR/BN	BN
1	CHART TENDER REVISED DESIGN FOR APPROVAL	21.09.2018	JR/BN	BN
2	REVISED TENDER	11.10.2018	JR/BN	BN
3	ISSUE FOR SDA	12.10.2018	JR/BN	BN
4	AMENDED - TREES TO BE RETAINED	18.10.2018	JR/BN	BN

GENERAL NOTES

- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER SCALED DIMENSIONS.
- ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE DETAILS, SPECIFICATIONS AND ENGINEERING DOCUMENTS.
- LOCATE AND PROTECT ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION. MAKE GOOD ALL DAMAGE TO EXISTING WORKS CAUSED BY THE ACTIVITY OF THESE WORKS.
- THESE DRAWINGS ARE TO BE PRINTED IN COLOUR.

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ADDITIONAL NOTES

- ALL PROPOSED LANDSCAPE WORKS SHALL COMPLY WITH ALL RELEVANT STATUTORY DOCUMENTS INCLUDING: AS 1428.1, AS 1428.2, BCA (2016), DDA (1992), NSW DOE EDUCATIONAL FACILITY STANDARDS AND GUIDELINES.
- A LUMP SUM SHOULD BE ALLOCATED IN THE TENDER FOR JUNIOR AND HIGH SCHOOL PLAY EQUIPMENT AS THESE ITEMS SHALL BE CONFIRMED AT LATER DEVELOPMENT STAGE.
- PROPOSED LANDSCAPE WORKS ARE TO BE COORDINATED WITH CIVIL WORKS AND LANDSCAPE DOCUMENTATION SHOULD BE READ IN CONJUNCTION WITH CIVIL AND STRUCTURAL ENGINEERS DOCUMENTATION.

PROJECT
WESTERN SYDNEY AND WOLLONGONG
SCHOOLS - MAINSBIDGE SSP

CLIENT
NSW DEPT OF EDUCATION

SSDA ISSUE NOT FOR CONSTRUCTION

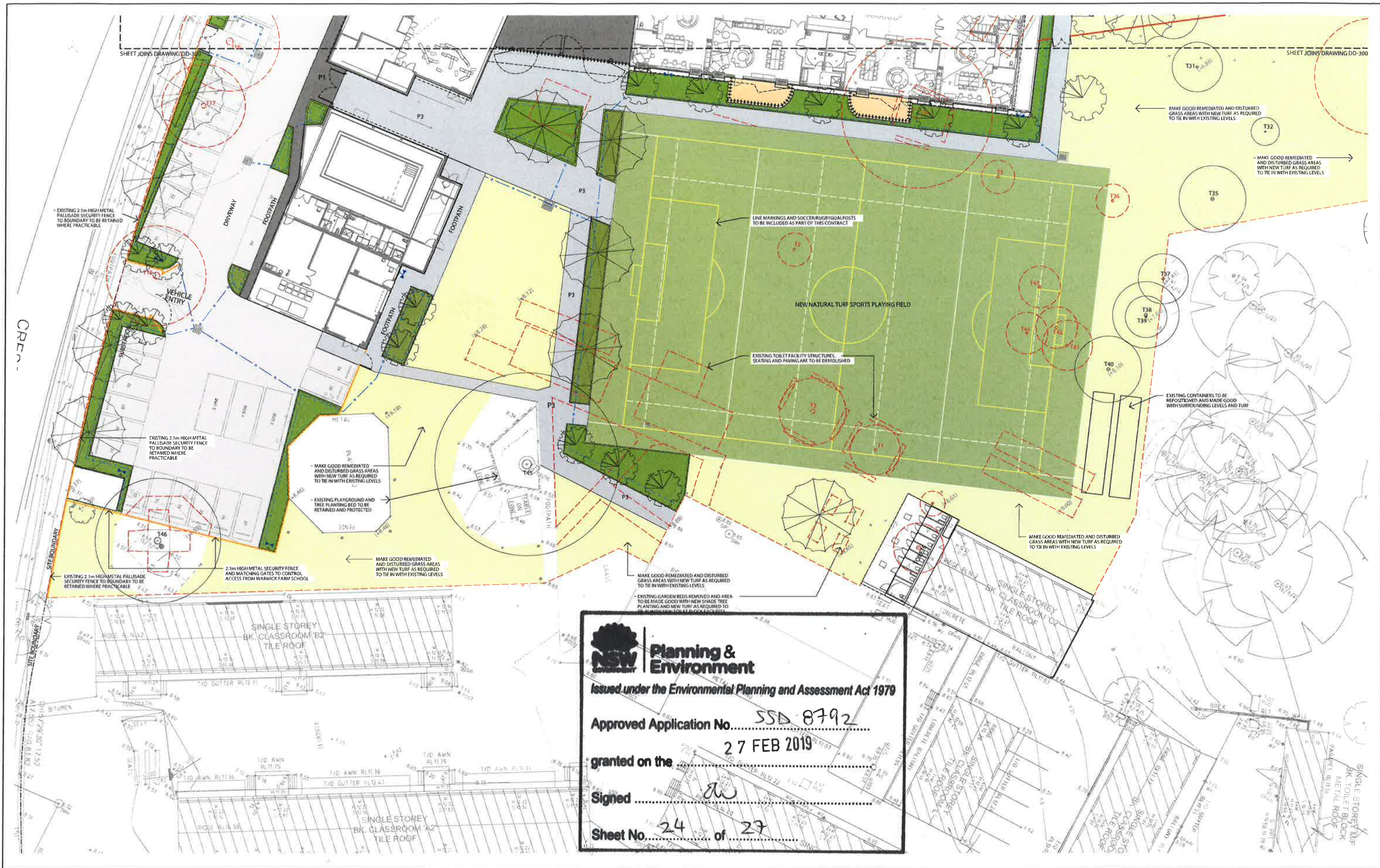
GENERAL ARRANGEMENT PLAN SHEET 1 OF 2

DRAWING No. 0216-0767-01 DD-300 4
REV DRN CHKD APPD
JR/BN JR LH

SCALE 1:200 @ A1
DATE 04.09.2018

Tract
Landscape Architects
Urban Designers
Town Planners

Level B/80 Mount Street North Sydney NSW 2060
P 02 9954 3733 www.tract.net.au



REV	DESCRIPTION	DATE	DRAWN	CHKD
1	TENDER ISSUE	07.09.2018	JR/BH	LH
2	DRAFT TENDER RESPONSE DESIGN FOR APPROVAL	28.09.2018	JR/BH	LH
3	REVISED TENDER	11.10.2018	JR/BH	LH
4	ISSUE FOR SSDA	12.10.2018	JR/BH	LH
5	AMENDED - TREES TO BE RETAINED	18.10.2018	JR/BH	LH

GENERAL NOTES

- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER SCALED DIMENSIONS.
- ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE DETAILS, SPECIFICATIONS AND ENGINEERING DOCUMENTS.
- LOCATE AND PROTECT ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION. MAKE GOOD ALL DAMAGE TO EXISTING WORKS CAUSED BY THE ACTIVITY OF THESE WORKS.
- THESE DRAWINGS ARE TO BE PRINTED IN COLOUR.

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ADDITIONAL NOTES

- ALL PROPOSED LANDSCAPE WORKS SHALL COMPLY WITH ALL RELEVANT STATUTORY DOCUMENTS INCLUDING: AS 1428.1, AS 1428.2, BCA (2019), DDA (1992), NSW DOE EDUCATIONAL FACILITY STANDARDS AND GUIDELINES.
- A LUMP SUM SHOULD BE ALLOCATED IN THE TENDER FOR JUNIOR AND HIGH SCHOOL PLAY EQUIPMENT AS THESE ITEMS SHALL BE CONFIRMED AT LATER DEVELOPMENT STAGE.
- PROPOSED LANDSCAPE WORKS ARE TO BE COORDINATED WITH CIVIL WORKS AND LANDSCAPE DOCUMENTATION SHOULD BE READ IN CONJUNCTION WITH CIVIL AND STRUCTURAL ENGINEERS DOCUMENTATION.

PROJECT
WESTERN SYDNEY AND WOLLONGONG SCHOOLS - MAINSBIDGE SSP

CLIENT
NSW DEPT OF EDUCATION

SSDA ISSUE NOT FOR CONSTRUCTION

GENERAL ARRANGEMENT PLAN
SHEET 2 OF 2

DRAWING No.
0216-0767-01 DD-301

REV
4

DRN
JR/BH

CHKD
JR

APPD
LH

SCALE
1:200 @ A1

DATE
04.09.2018

Tract
Landscape Architects
Urban Designers
Town Planners

Level 8/80 Mount Street, North Sydney NSW 2060
P 07 9554 3733 www.tract.net.au

PAVEMENT TYPE LEGEND

PAVEMENT TYPE 1
CONCRETE PEDESTRIAN FOOTPATH FINISH TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
100mm CONCRETE F'c=25MPa SL72 CENTRAL ON 75mm CRUSHED ROCK DGB20 COMPACTED SUBGRADE CBR 3%

PAVEMENT TYPE 2
ASPHALT AC PAVEMENT FINISH TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
30mm AC10 ON 7mm PRIMER SEAL
150mm DGB 20
200mm DGS 40
CBR 3% TRAFFIC LOADING 1.4x10⁴ ESA

PAVEMENT TYPE 3
LIGHT VEHICLE CONCRETE PAVEMENT
150mm THICK 32MPa CONCRETE WITH SL82 TOP 60mm COVER
100mm DGB20 OR APPROVED EQUIVALENT
COMPACTED SUBGRADE (CBR 3.0% MIN.)

PAVEMENT TYPE 4
CONCRETE PEDESTRIAN FOOTPATH WITH DECORATIVE SAWCUT FINISH TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
100mm CONCRETE F'c=25MPa SL72 CENTRAL ON 75mm CRUSHED ROCK DGB20

PAVEMENT TYPE 5
DRIVEWAY CROSSING REFER TO LIVERPOOL CITY COUNCIL'S SPECIFICATION AND DRAWING R25-CONCRETE VEHICULAR CROSSOVER & FOOTPATH

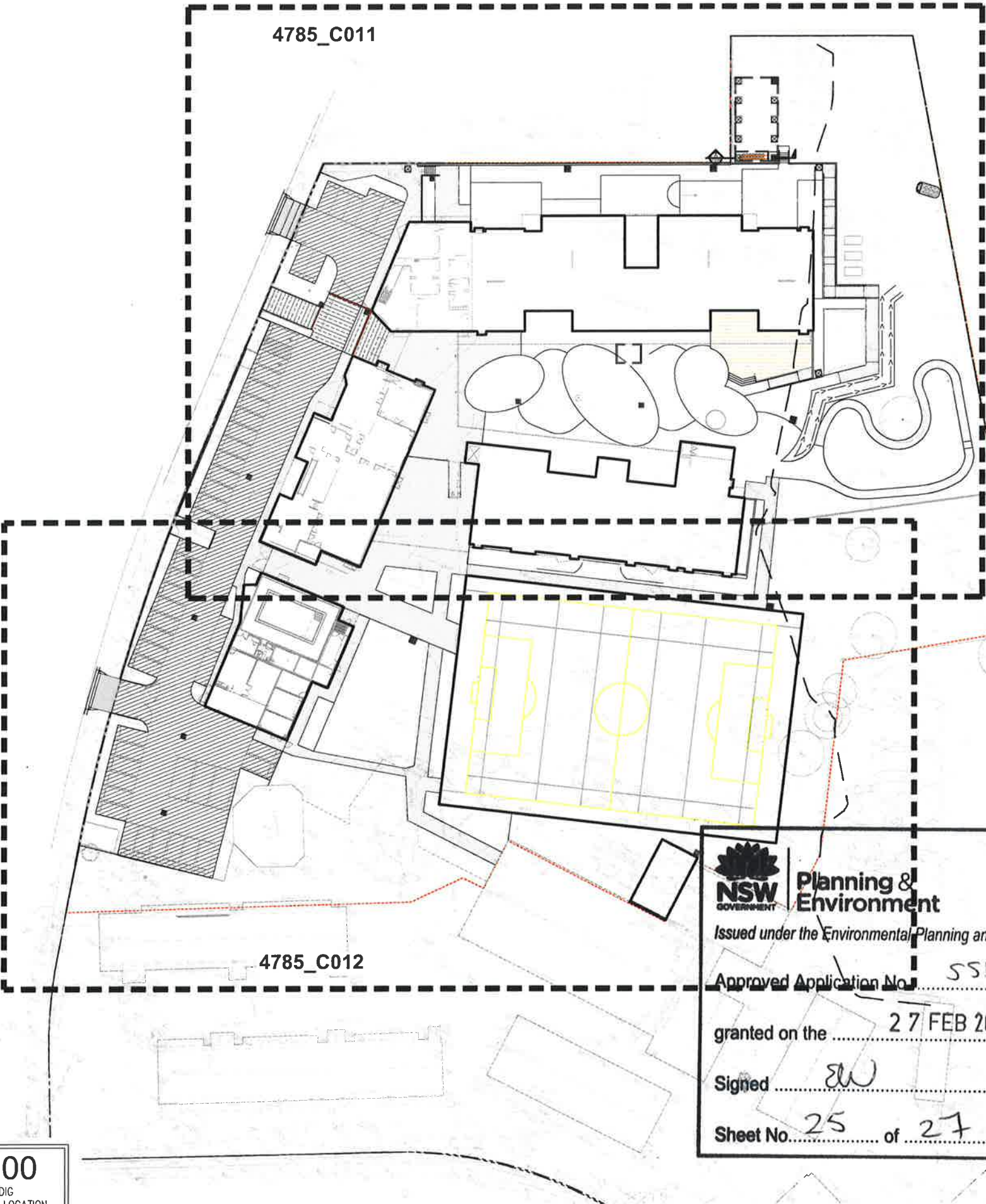
PAVEMENT TYPE 6
TIMBER DECK REFER LANDSCAPE ARCHITECTURAL DRAWING FOR DETAILS

ASPHALTIC CONCRETE SURFACING NOTES:

- ASPHALT (HOT MIXED) TO AS2150.
- BITUMEN EMULSION: TO AS1160.
- BASE COURSE SURFACE TO BE FIRM, FREE OF SURFACE WATER, OILS, GREASE, RETARDERS, LOOSE MATERIAL AND DUST. APPLY PRIMER COAT IMMEDIATELY BEFORE PLACING ASPHALT.
- PRIMER COAT: BITUMINOUS EMULSION SPRAY TO THE RECOMMENDATION OF AS2150.
- APPLY PRIMER SEAL WHERE AREA IS TO BE TRAFFICKED FOR A PERIOD OF TIME PRIOR TO THE PLACEMENT OF ASPHALT.
- ASPHALT: MIXING LAYING AND COMPACTION TO THE RECOMMENDATION OF AS2150. TACK COAT: BITUMINOUS EMULSION SPRAY TO THE RECOMMENDATION OF AS2150.
- MIXES:
 - AC14 - 14mm NOMINAL MAXIMUM AGGREGATE SIZE
 - AC10 - 10mm NOMINAL MAXIMUM AGGREGATE SIZE
 - AC7 - 7mm NOMINAL MAXIMUM AGGREGATE SIZE
 - AC5 - 5mm NOMINAL MAXIMUM AGGREGATE SIZE
- BITUMEN BINDER CLASS: 170.
- SURFACE FINISH: DENSE, SMOOTH, FREE OF ROLLER MARKS AND LOOSE MATERIAL.
COMPACTION: WHILST THE MIX TEMPERATURE IS ABOVE 140°C. SITE DENSITY (MINIMUM): 95% OF THE 50 BELOW MARSHALL DENSITY OF THE LABORATORY COMPACTED MIX.
- JOINTS:
 - THE NUMBER OF JOINTS, BOTH LONGITUDINAL AND TRANSVERSE, SHALL BE KEPT TO MINIMUM.
 - THE DENSITY AND SURFACE FINISH AT JOINTS SHALL BE SIMILAR TO THOSE OF THE REMAINDER OF THE LAYER.
 - FORM JOINTS AND STAGGER 300MM MINIMUM IN SUCCESSIVE LAYERS.
- FINISHED PAVEMENT PROPERTIES:
FINISHED SURFACES SHALL BE SMOOTH, DENSE AND TRUE TO SHAPE AND SHALL NOT VARY MORE THAN 10MM FROM SPECIFIED PLAN LEVEL AT ANY POINT AND SHALL NOT DEVIATE FROM THE BOTTOM OF A 3M STRAIGHT EDGE LAID IN ANY DIRECTION BY MORE THAN 5MM.

ISSUE	REVISION	DATE	INITIAL
1	ISSUE	16.10.2018	JE
2	FINAL REVISION ISSUE	16.10.2018	JE
3	REVISION	07.09.2018	SH
4	FOR INFORMATION	20.04.2018	SH

DIAL 1100
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CONTRACTOR TO CONFIRM LOCATION
OF EXISTING SERVICES PRIOR TO
COMMENCEMENT OF WORKS



OVERALL SITE PLAN
SCALE: 1:400

FLEXIBLE PAVEMENT NOTES:

BASE, SUB-BASE AND SELECT MATERIAL

- GENERAL:
PAVEMENT "BASE" (I.E. THE HIGHEST COURSE OF THE PAVEMENT BELOW THE SURFACING) SHALL BE CONSTRUCTED OF FINE CRUSHED ROCK (EXCEPT CONCRETE PAVEMENT, WHERE THE CONCRETE IS THE BASE).
PAVEMENT "SUB-BASE" (I.E. THE INTERMEDIATE OR LOWER COURSE OF THE PAVEMENT BELOW THE BASE) SHALL BE CONSTRUCTED OF CRUSHED ROCK OR NATURAL GRAVELS.
PAVEMENT "SELECT MATERIAL LAYER" (I.E. THE LOWER COURSE OF THE PAVEMENT BELOW THE SUB-BASE) SHALL BE CONSTRUCTED OF CRUSHED ROCK, NATURAL GRAVELS OR SUITABLE SOILS. THE SUBGRADE SURFACE SHALL BE THE SURFACE THAT UNDERLIES EITHER:
 - THE SELECT MATERIAL LAYER WHEN SELECT MATERIAL LAYER IS PRESENT, OR
 - THE SUB-BASE WHEN SELECT MATERIAL LAYER IS ABSENT FROM THE PAVEMENT CONSTRUCTION, OR
 - THE BASE WHEN BOTH SELECT MATERIAL LAYER AND SUB-BASE ARE ABSENT FROM THE PAVEMENT CONSTRUCTION
- MATERIALS:
PRIOR TO THE DELIVERY OF ANY MATERIAL TO THE SITE, THE SOURCE OF ALL MATERIALS AND CERTIFICATES THAT THE MATERIAL SATISFIES THE SPECIFIED REQUIREMENTS SHALL BE PROVIDED FOR APPROVAL. ADDITIONALLY FOR EACH MATERIAL SOURCE, COMPLIANCE WITH THE APPROVED QUALITY ASSURANCE PROGRAM FOR INDIVIDUAL MATERIALS SHALL BE PROVIDED TO THE SUPERINTENDENT AS REQUIRED IN THE QUALITY SYSTEM REQUIREMENTS. TESTING OF PAVEMENT MATERIALS WILL NORMALLY BE PERFORMED ON SAMPLES TAKEN AT THE SOURCE PRIOR TO DELIVERY TO THE SITE AND IN THEIR FINAL CONDITIONS AFTER PLACEMENT AND COMPACTION IN THE PAVEMENT. HOWEVER, THE PROPERTIES SPECIFIED AND FINAL ACCEPTANCE ARE APPLICABLE TO THE MATERIALS IN THEIR FINAL CONDITION IN THE PAVEMENT. FINAL ACCEPTANCE WILL BE CONDITIONAL ON NO SIGNIFICANT CHANGE IN PROPERTIES DUE TO SEGREGATION OR CONTAMINATION DURING SUBSEQUENT PAVEMENT WORKS.

FINE CRUSHED ROCK BASE MATERIAL

FINE CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF CLASS DGB20 MATERIAL AS SPECIFIED IN RMS SPECIFICATION 3051 AND SHALL BE HARD, DURABLE STONE FREE OF CLAY LUMPS, ORGANIC MATTER AND OBJECTIONABLE QUANTITIES OF DELETERIOUS SUBSTANCES. THE MATERIAL MAY BE CRUSHER RUN OR SCREENED AND RECOMBINED. ALL THE MATERIAL REQUIREMENTS APPLY BOTH PRIOR TO AND AFTER PLACEMENT IN THE PAVEMENT.

SUB-BASE MATERIALS

SUB-BASE MATERIALS SHALL BE CRUSHED ROCK SUB-BASE OR SUITABLE NATURAL GRAVELS AND CONFORM TO THE REQUIREMENTS OF CLASS DGB40 OR DGB20 OF RMS SPECIFICATION 3051. STONE SHALL BE HARD, DURABLE AND THE MATERIALS SHALL BE FREE OF CLAY LUMPS, ORGANIC MATTER AND OBJECTIONABLE QUANTITIES OF DELETERIOUS SUBSTANCES. ALL MATERIAL REQUIREMENTS WILL APPLY BOTH PRIOR TO AND AFTER PLACEMENT IN THE PAVEMENT.

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DEPARTMENT OF EDUCATION
MAINSBRIDGE SSP
LAWRENCE HARGRAVE ROAD

Melbourne, VIC, Australia
www.wsp.com

OVERALL SITE PLAN

CIVIL DRAWING			
Designed	SH	Approved	
Drawn	JL	Project Engineer/Director	Date
Scale	1:400@A1	Drawing No.	
Date	JULY 2017	4785 C010	P2



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Signed EW

Sheet No. 26 of 27



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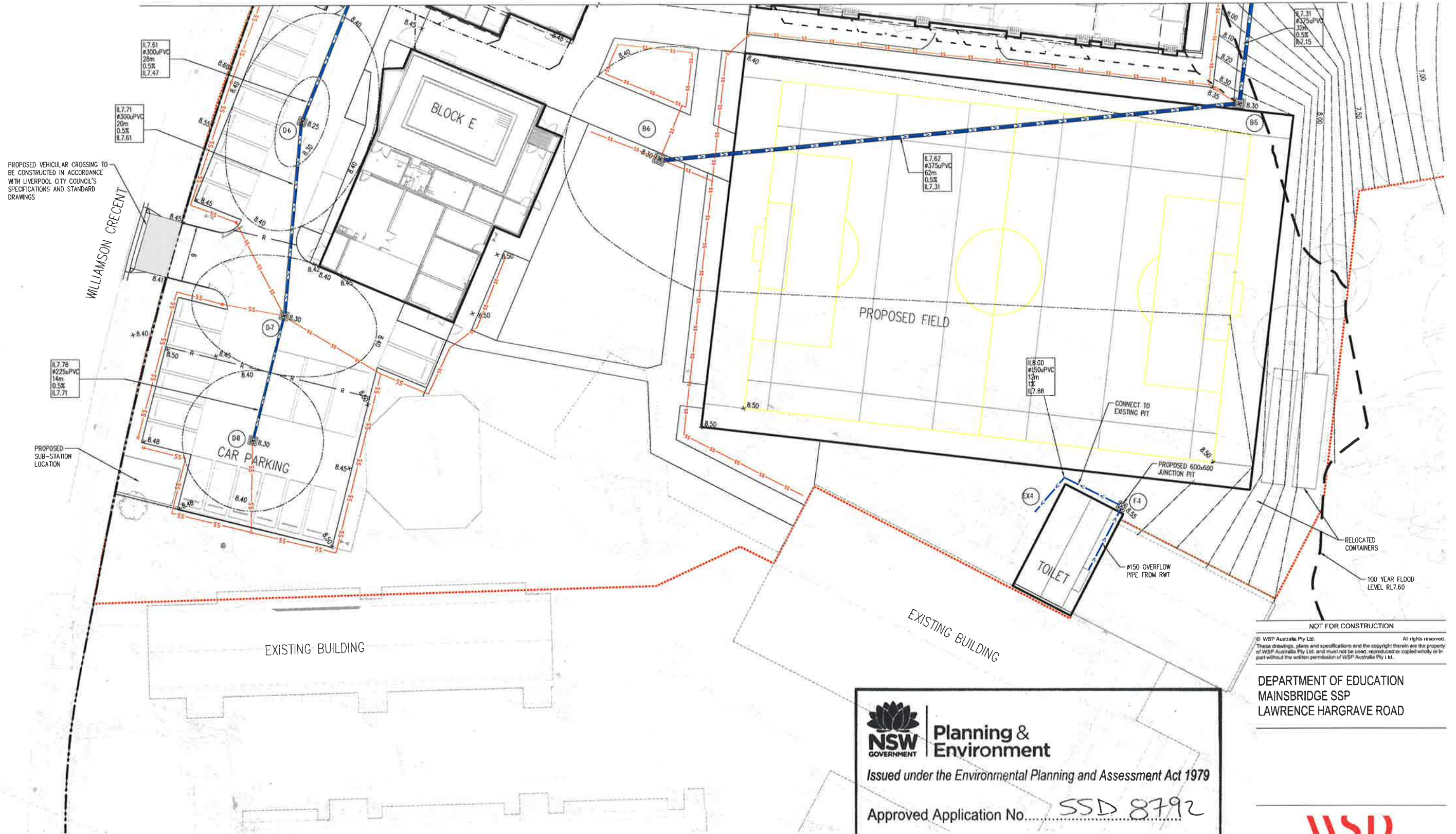
GENERAL ARRANGEMENT PLAN
SHEET 1 OF 2

GENERAL ARRANGEMENT PLAN - SHEET 1 OF 2
SCALE: 1:200



CIVIL DRAWING			
Designed	SH	Approved	
Drawn	JL	Project Engineer/Director	Date
Scale	1:200@A1	Drawing No.	
Date	AUG 2018	4785 C011	P2

REFER 4785 C011 FOR DRAWING CONTINUATION



EXISTING BUILDING

EXISTING BUILDING

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GENERAL ARRANGEMENT PLAN - SHEET 2 OF 2
SCALE: 1:200

LEGEND

- | | | | |
|--|-----------------------------|--|------------------|
| | LIMITED OF WORKS | | LINE LETTER |
| | SITE BOUNDARY | | PIT NUMBER |
| | PROPOSED JUNCTION PITS | | PROPOSED PIT TAG |
| | PROPOSED SURFACE INLET PITS | | |
| | GO | | |
| | PROPOSED GRATED DRAIN | | |
| | PROPOSED STORMWATER PIPE | | |
| | 82.00 | | |
| | PROPOSED CONTOURS | | |
| | 82.00 | | |
| | PROPOSED SPOT LEVEL | | |
| | KO | | |
| | PROPOSED KERB ONLY | | |
- | | | | |
|--|----|--|-------------------------|
| | SS | | PROPOSED SUB-SOIL PIPE |
| | RW | | PROPOSED RETAINING WALL |
| | SW | | PROPOSED BRICK EDGE |
| | SW | | EXISTING STORMWATER |
- | | | | |
|--|--------|--|----------------------------------|
| | 40.125 | | STORMWATER UPSTREAM INVERT RL |
| | 40.125 | | STORMWATER PIPE DIAMETER & CLASS |
| | 40.125 | | STORMWATER PIPE LENGTH |
| | 40.125 | | STORMWATER PIPE GRADE |
| | 40.125 | | STORMWATER DOWNSTREAM INVERT RL |

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Signed [Signature]

Sheet No. 27 of 27



GENERAL ARRANGEMENT PLAN
SHEET 2 OF 2

CIVIL DRAWING			
Designed	SH	Approved	
Drawn	JL	Project Engineer/Director	Date
Scale	1:200@A1	Drawing No.	
Date	AUG 2018	4785 C012	P2