



Education



Project Early Use Certificate (EUCC)

Early Use Handover Lindfield Learning Village Stage 2 Stage 2A.2 & 2B At Lindfield Learning Village

*on this 20.04.2021
is granted early use to
Department of Education*

*The Project Early Requirements checklist has been completed and attached.
(checklist to be completed by PM and signed off by DoE SINSW Project Director)*

Signed:    

Date: 20/4/21 20/4/21 20/04/21 20/4/21

Pete Krause
Project Director
School Infrastructure
NSW, SINSW

Anthony Protich
DoE, SINSW AMU
Representative

Penny Blunden
Project Manager /
Authorised Person
Savills

Craig O'Shea
Senior Manager/
Commissioning/
Infrastructure
Delivery SINSW

PROJECT COMPLETION REQUIREMENTS - Checklist

Handover Reference Item	Y	N	NA	COMMENTS/ TRIM REF
1. The Handover documents identify the PROJECT name and address	X	<input type="checkbox"/>	<input type="checkbox"/>	
2. The Handover documents contains a signed Certificate/Letter of Completion from the Principal's Authorised Person to the Contractor stating the actual date of Completion of the milestone or Works	X	<input type="checkbox"/>	<input type="checkbox"/>	
3. The Handover documents contain the Operations and Maintenance Manuals that include but not limited to:	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Manual Name	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Distribution List	X	<input type="checkbox"/>	<input type="checkbox"/>	
- As Built Drawings in paper and electronic format (CAD, Dwg & pdf)	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Suppliers details	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Manual Type / Equipment & Warranties	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Mechanical	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Electrical	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Communications / Telephone	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Hydraulic	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Irrigation	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Security	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ Fire Systems	X	<input type="checkbox"/>	<input type="checkbox"/>	
▪ PV cells				
▪ Other				
4. The Handover documents identify that Emergency Management Plans have been approved and installed in accordance with regulations	X	<input type="checkbox"/>	<input type="checkbox"/>	Full list attached to O&MM Progressive manuals provided each stage
5. The Handover documents list pre-handover training of systems, plant and equipment that was carried out and identifies the trainer and persons trained in the operation / maintenance of included equipment that includes but not limited to:				
- Mechanical Services	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Electrical Services	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Hydraulic Services	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Security Systems	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Irrigation Systems	X	<input type="checkbox"/>	<input type="checkbox"/>	
- IT / Communications / Telephone	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Fire Systems	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Other.....	X	<input type="checkbox"/>	<input type="checkbox"/>	Full list attached to O&MM
6. The Handover documents identify keying systems that include but not limited to:				
- Keys numbered and tagged	X	<input type="checkbox"/>	<input type="checkbox"/>	

PROJECT COMPLETION REQUIREMENTS - Checklist

Handover Reference Item	Y	N	NA	COMMENTS/ TRIM REF
- Key system identified	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Identifies person keys handed to and date	X	<input type="checkbox"/>	<input type="checkbox"/>	
7. The Handover documents identify security and access codes for electronic access systems including but not limited to:				Access codes already provide as part of Stage 1
- Security system identified	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Access codes confirmed and documented	<input type="checkbox"/>	<input type="checkbox"/>	X	
- Commissioning reports	X	<input type="checkbox"/>	<input type="checkbox"/>	
8. The Handover documents contain Environmental Plans that need to be continued after completion.	X	<input type="checkbox"/>	<input type="checkbox"/>	
9. The Handover documents include commissioning reports and test results of Systems, Plant and Equipment	X	<input type="checkbox"/>	<input type="checkbox"/>	Periodically provided over coming weeks.
10. The Handover documents identify that the Field Data Capture has been completed (surveys of buildings and rooms)	X	<input type="checkbox"/>	<input type="checkbox"/>	
11. The Handover documents contain the Asset Data Capture Spreadsheet (building elements, plant & equipment for DEC Facilities Maintenance Contract)	X	<input type="checkbox"/>	<input type="checkbox"/>	
12. The Handover documents contain a copy of the Statutory Compliance Certificate & Occupation Certificate including but not limited to BCA Certification and certification from each sub-contractor and any relevant supporting documentation.	X	<input type="checkbox"/>	<input type="checkbox"/>	
Certification from each design consultant engaged by the Principal stating that the project has been constructed and completed in accordance with the final design documentation. Consultants include but not limited to:				
- Architect	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Structural Engineer	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Electrical Engineer	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Mechanical Engineer	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Hydraulic Engineer	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Landscape Architect	X	<input type="checkbox"/>	<input type="checkbox"/>	
13. The Handover documents contain a copy or copies of Licenses and Approvals including but not limited to:				
- Trade Waste Agreements	<input type="checkbox"/>	<input type="checkbox"/>	X	
- Other.....	<input type="checkbox"/>	<input type="checkbox"/>	X	

PROJECT COMPLETION REQUIREMENTS - Checklist

Handover Reference Item	Y	N	NA	COMMENTS/ TRIM REF
14. The Handover documents identify the processes for the Post Completion Period for the project that includes but not limited to:				
- The period of post completion period (12 months)	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Contact details for specific items / trades / activities	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Defects Register containing agreed defects that will be completed during Post Completion Period as well as list of all completed defects	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Defects notification procedure	X	<input type="checkbox"/>	<input type="checkbox"/>	
- A summary of post completion periods per item	X	<input type="checkbox"/>	<input type="checkbox"/>	
15. The Handover document identify any ongoing Maintenance Contracts for specific plant and equipment included in the project including but not limited to:				
- Fire system maintenance	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Aerated Sewer systems	<input type="checkbox"/>	<input type="checkbox"/>	X	
- Trade Waste disposal contracts	<input type="checkbox"/>	<input type="checkbox"/>	X	
- Security Monitoring Contracts	<input type="checkbox"/>	<input type="checkbox"/>	X	
- Building Services equipment Maintenance	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Lifts x 2	X	<input type="checkbox"/>	<input type="checkbox"/>	
16. The Handover documents identify that any alterations and additions to the completed project during the post completion period could void warranties and the contractors responsibility	X	<input type="checkbox"/>	<input type="checkbox"/>	
17. The Handover documents identify Emergency Contacts that the School can contact for emergency situations during the Post Completion period and following post contract period that includes but not limited to:				
- Contractor Representative	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Authorised Person	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Facility Representative	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Specialist sub-contractor contact	X	<input type="checkbox"/>	<input type="checkbox"/>	
- Client nominated representative	X	<input type="checkbox"/>	<input type="checkbox"/>	
18. A summary of the Post Completion Period/s for this project is set out below (incl. any contractual milestones)				
a. Contractor Name: Hindmarsh Construction				
b. Scope Description: Stage 2A.2 & 2B				
c. Duration: 12 months				
d. Expiry Date: 20/04/2022				
19. Confirmation provided that all works have been completed in accordance with the Consent Conditions.	X	<input type="checkbox"/>	<input type="checkbox"/>	
Note any outstanding conditions (listing Responsible Party – anticipated close out date for each outstanding item)				

PROJECT COMPLETION REQUIREMENTS - Checklist

Handover Reference Item	Y	N	NA	COMMENTS TRIM REF
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Handover Document Acceptance

The handover documents comply with the check list and are accepted for the project

Accepted Yes No

Signed: *Stacey Egan* Date: 22/04/21.....

(Director, Educational Leadership)

Reason for rejection Comments / Non Compliance:

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.....



20th April 2021

Anthony Protich
Asset Management Unit
School Infrastructure
NSW Level 9
259 George Street,
Sydney, NSW
2000

Attention: Anthony

Contract No. SINSW-00300-20 (Design and Construction Works - Lindfield Learning Village (Stage 2-3))

Subject: Early Use of Stage 2A2 and 2B D1T2 areas

We write to confirm that, as of 9am, **Tuesday 20th April 2021** that Lindfield Learning village Stage 2A2 and 2B has been placed into Early Use by the Principal for the Whole Site.

Control of the school has now given to The Crown in right of the State of New South Wales acting through the NSW Department of Education, which is now responsible for maintenance and insurance.

We have advised Hindmarsh that it will be required to follow Department of Education protocols whilst working on the site. These protocols include Site Inductions and the issuing of Disruption Notices a minimum of 2 business days in advance of obtaining access to the required areas and all works are to be undertaken out of school hours unless approved otherwise.

The area nominated for early use are marked on the attached staging plans in Green (Attachment 1). The Green areas will be available from 20/4/21 and the other colour areas with a 2-4-week lag. Both areas will be accepted with a known list of defects (Attachment 3).

We note that the requirement for Early Use included a Crown Completion Certificate (Attachment 2) and that the Contractor remains responsible for the completions of outstanding works and defects. It is expected that the Contractor will close out its defects list as promptly as possible as a requirement of Actual Completion.

Yours
sincerely,

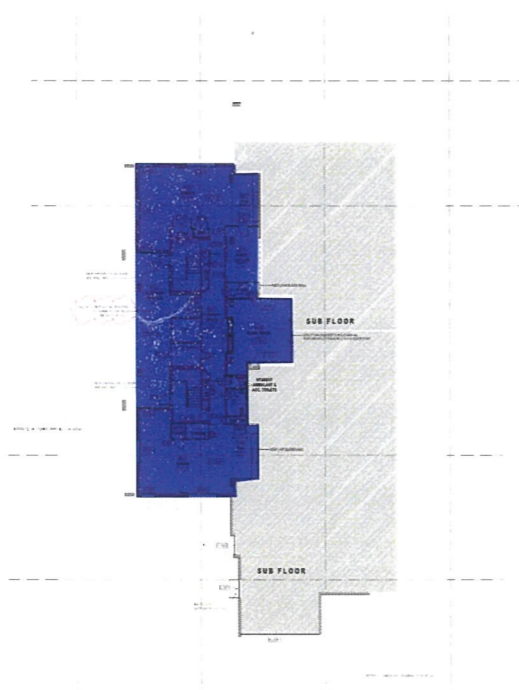
Pete Krause
**Project
Director**

Department of Education, School Infrastructure NSW



Attachments:

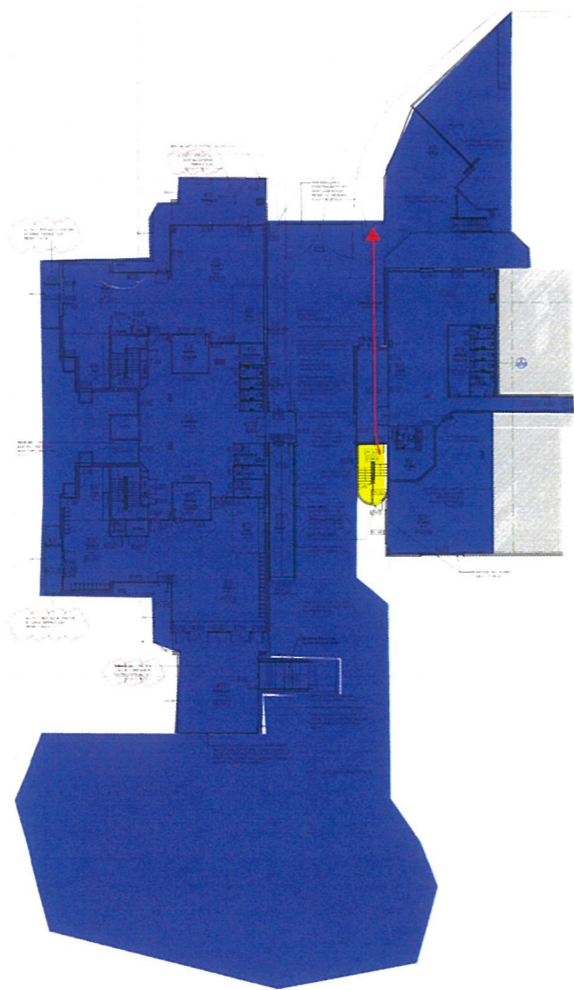
1. Lindfield Learning Village Combined Staging plans 9/3/21
2. Crown Completion Certificate issued by MBC Group 19/04/2021
3. Outstanding works and defects list dated 19/04/2021
4. Project Early Use Certificate signed 20/4/21



Level 0

Legend

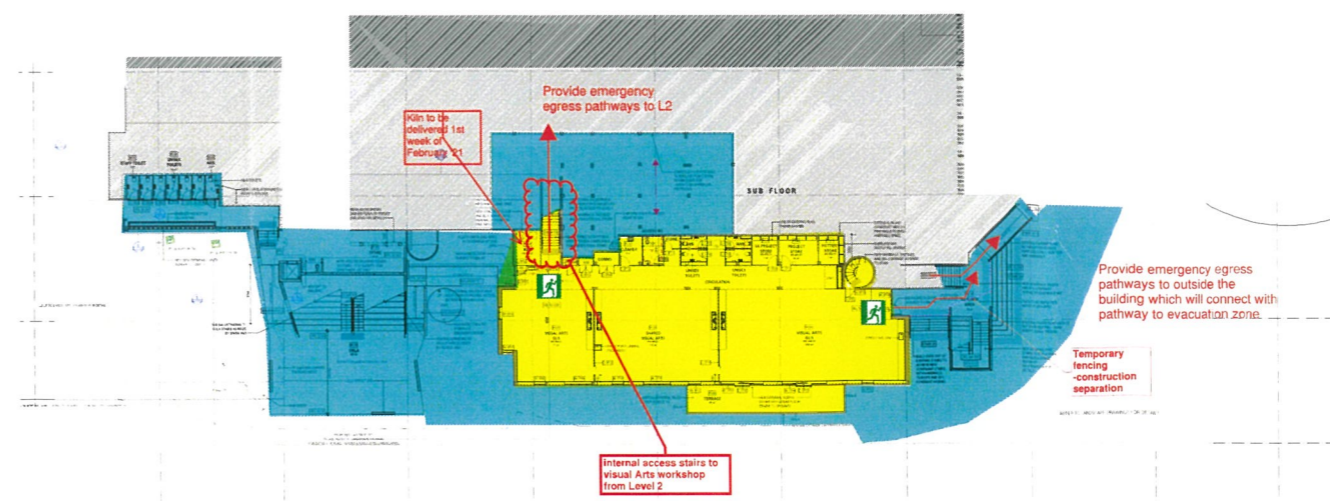
- Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages

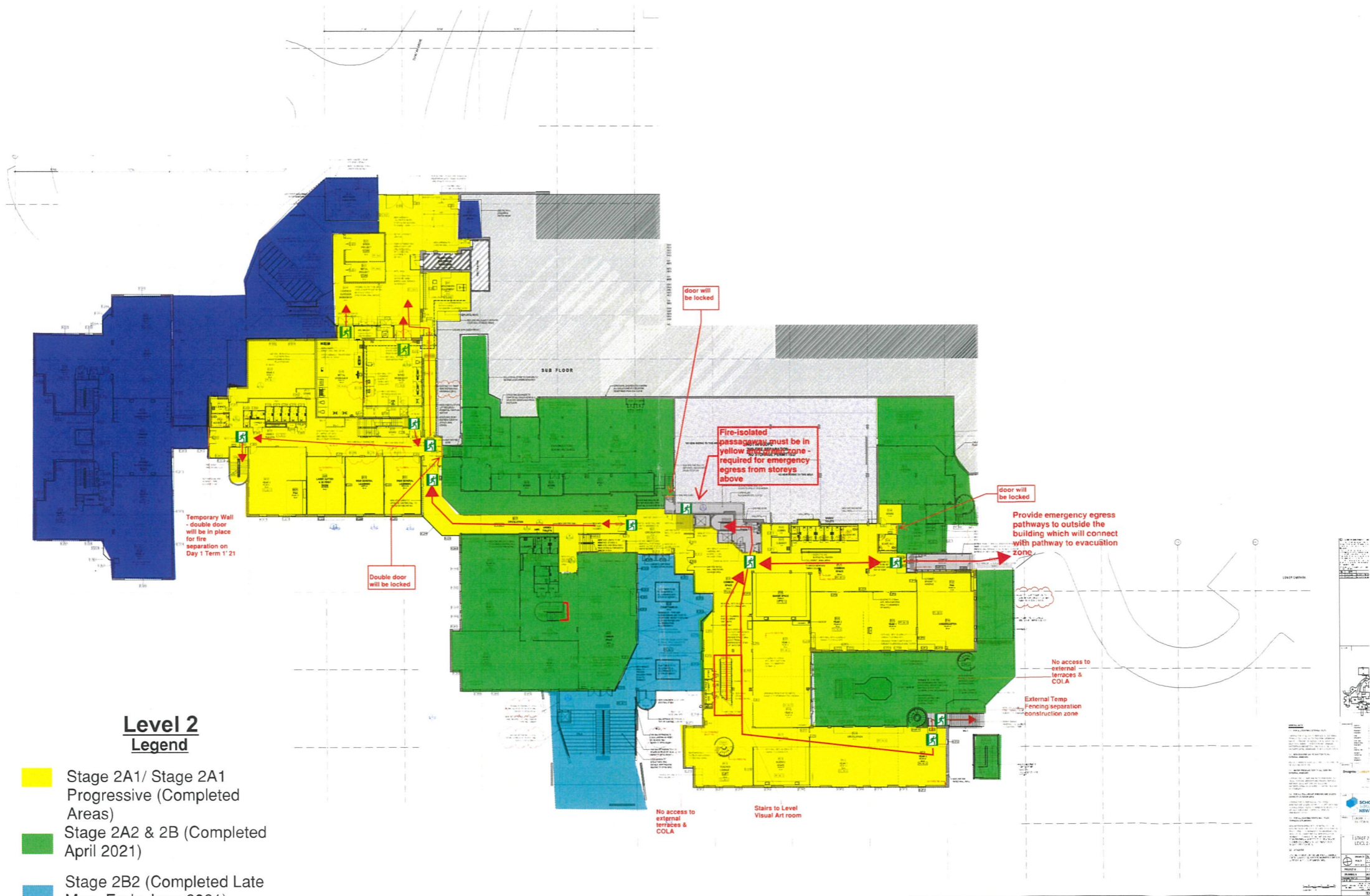


Level 1

Legend

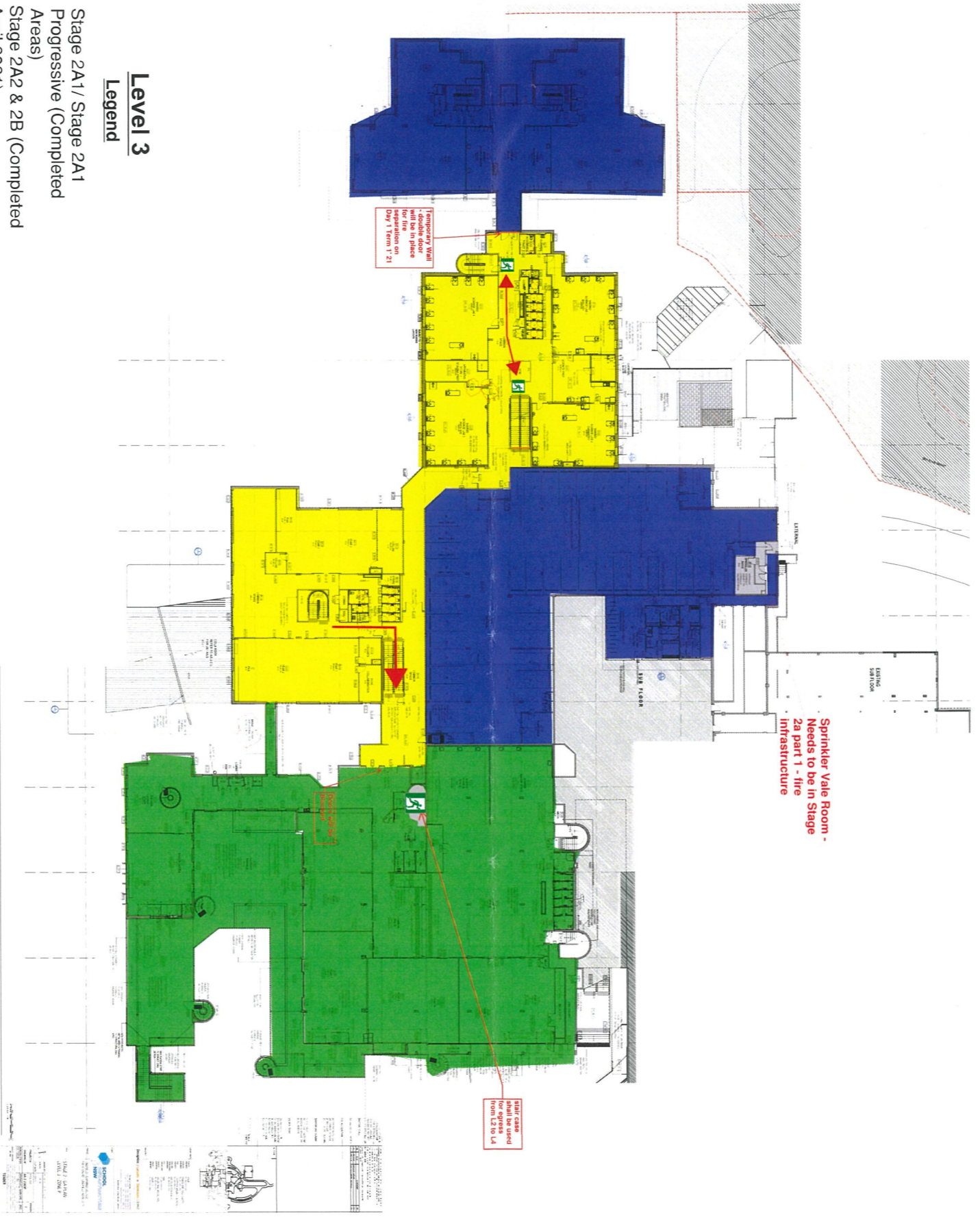
- Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages





**Level 2
Legend**

- Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages



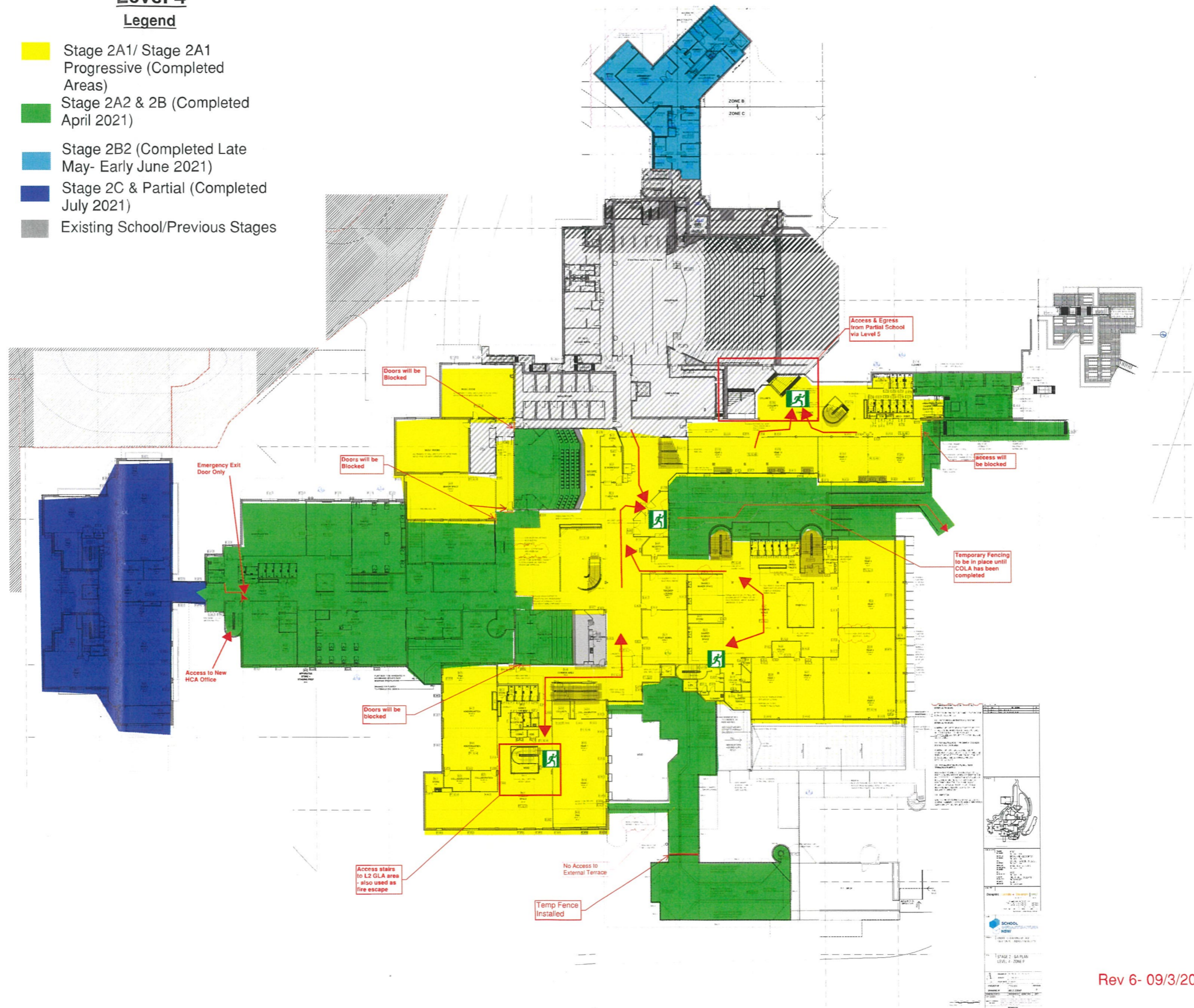
Level 3
Legend

- Stage 2A1/ Stage 2A1 Progressive Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages

Level 4

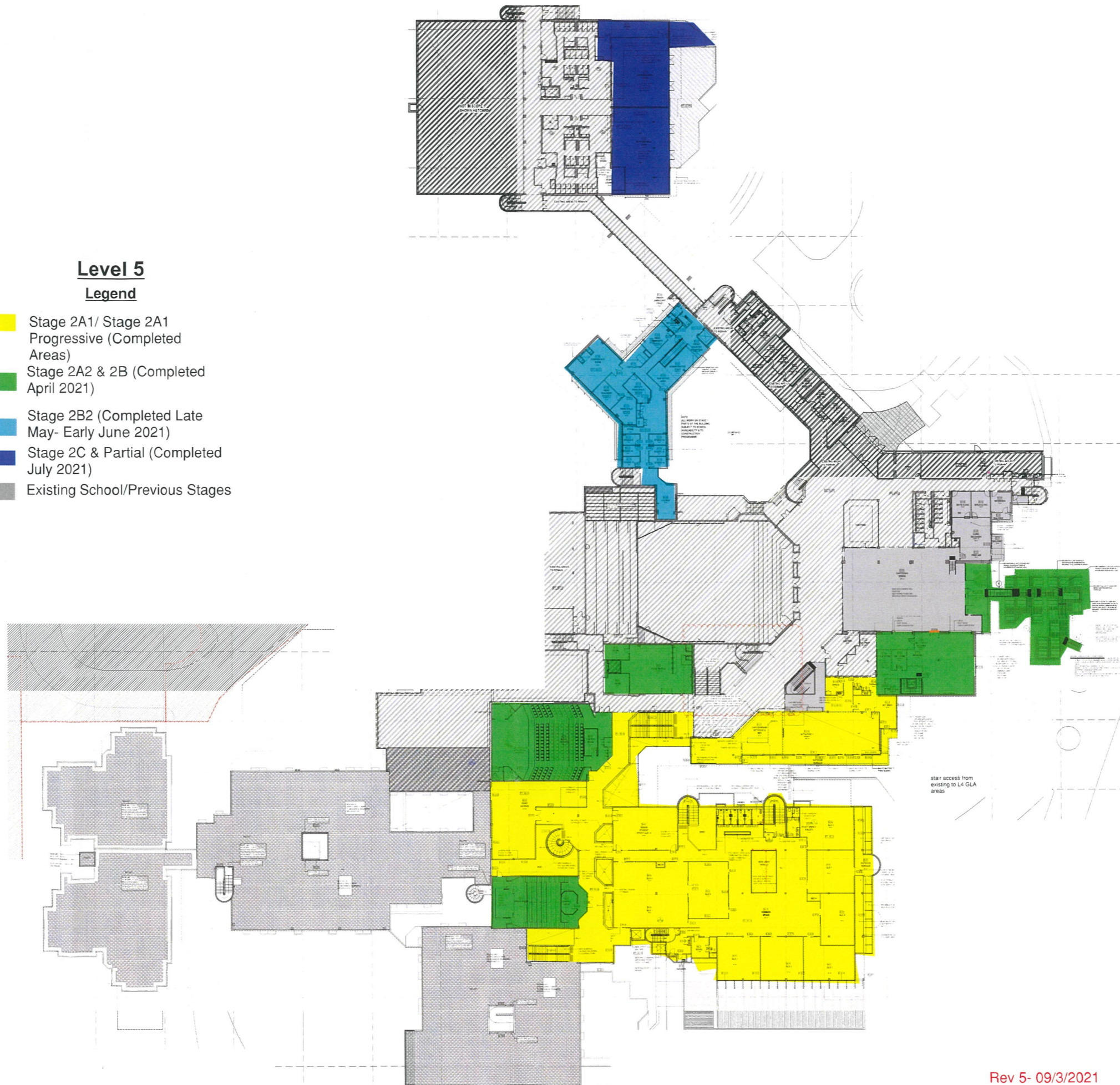
Legend

- Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages








Level 5
Legend

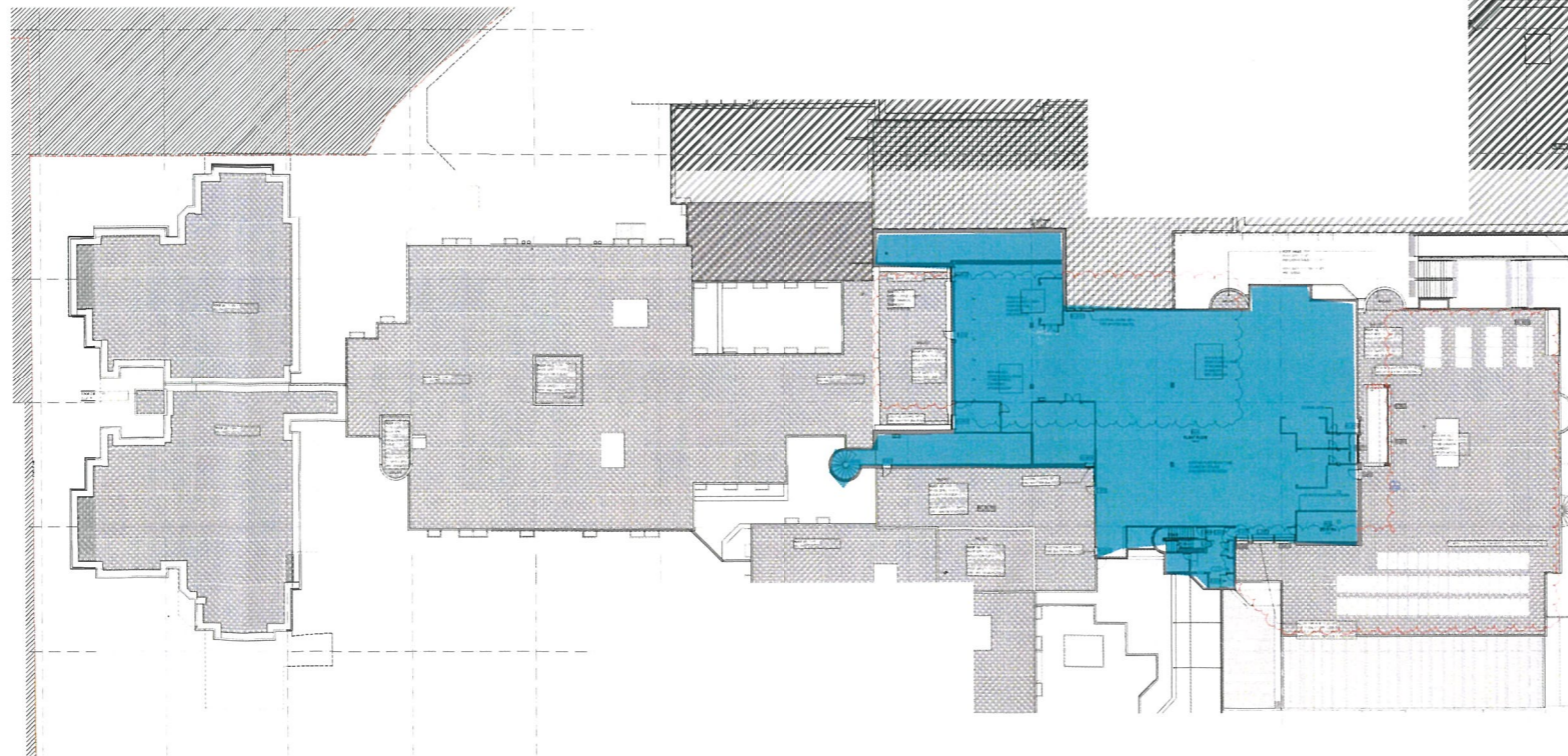
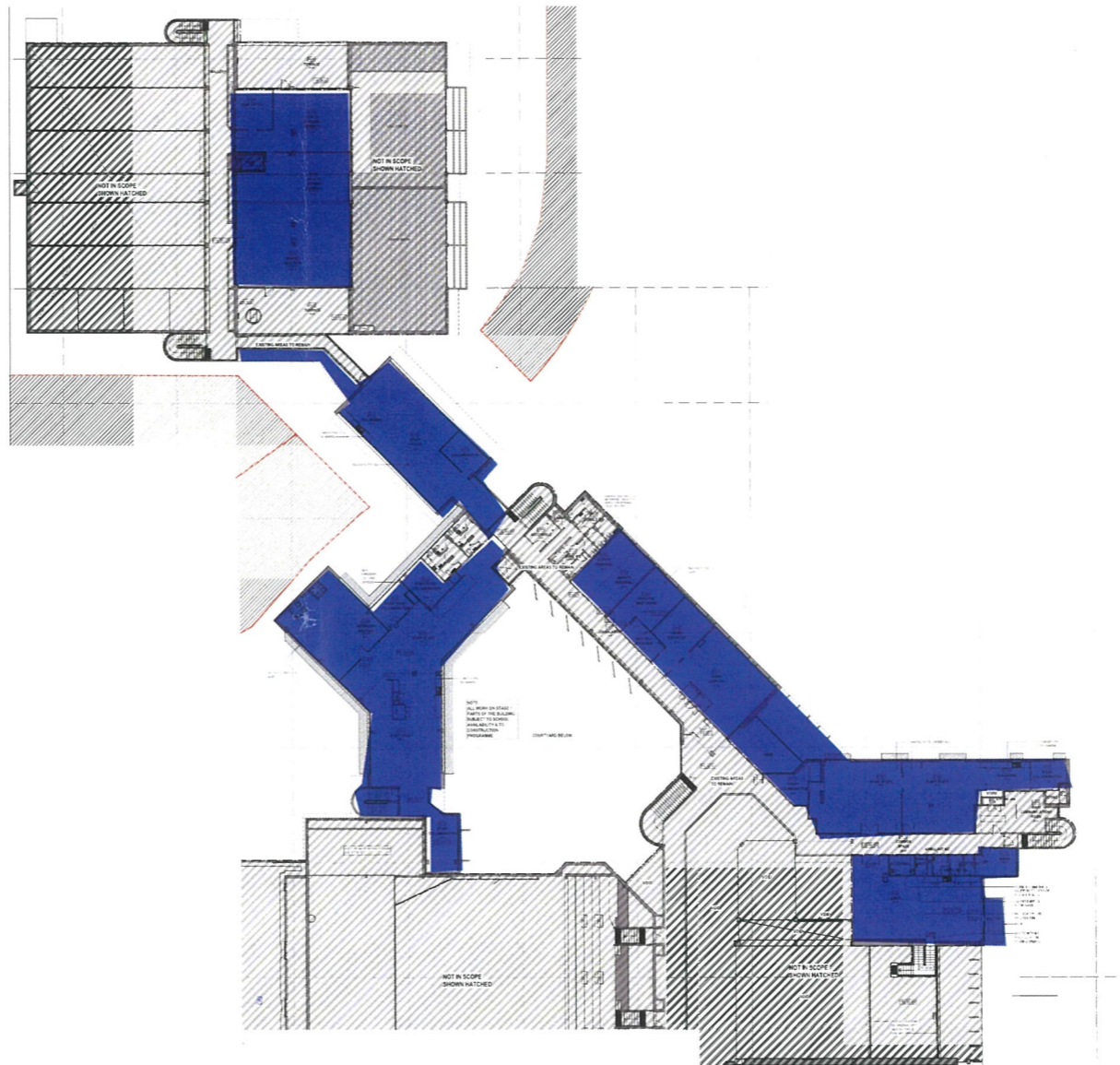
- Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages

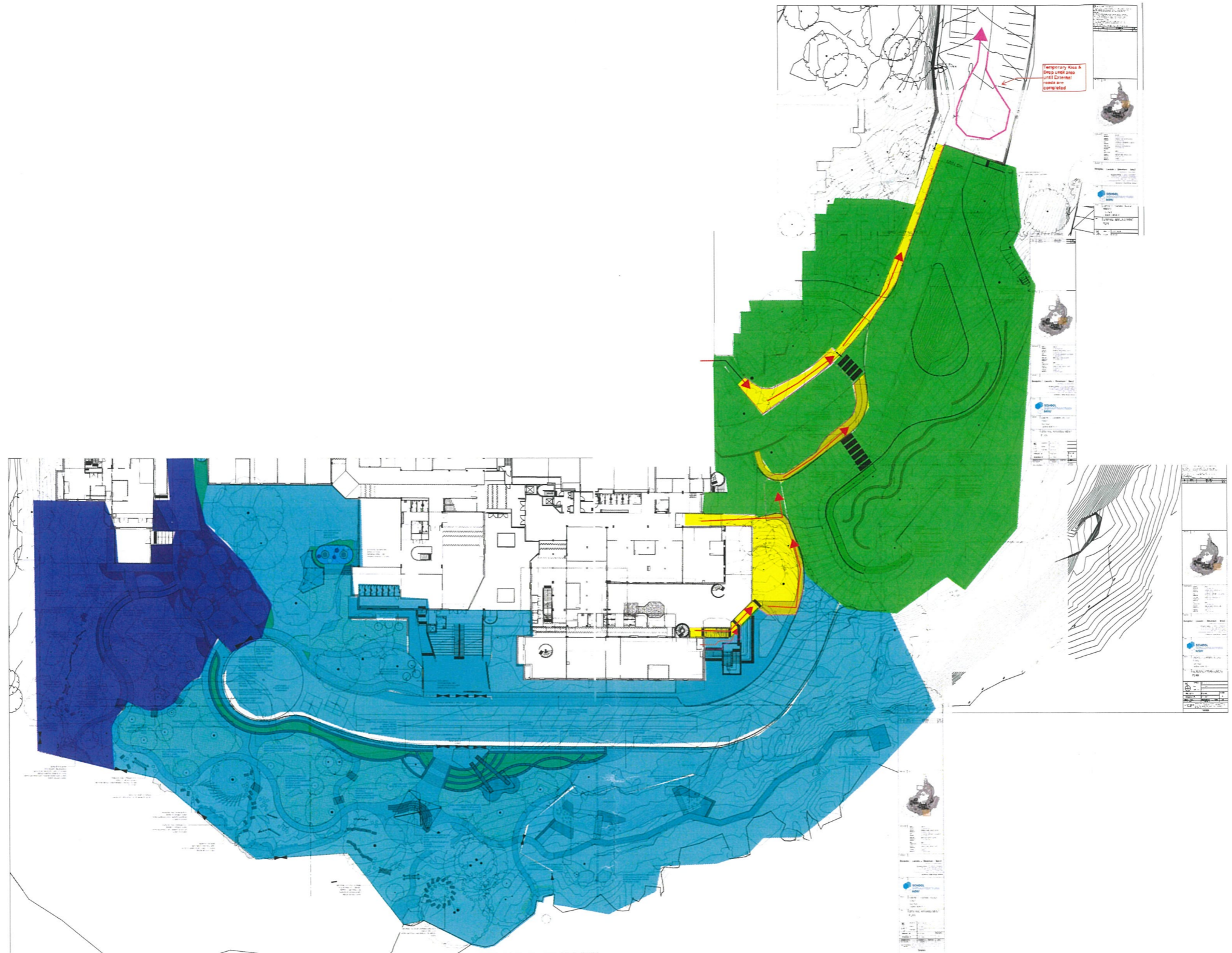


Level 6

Legend

-  Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
-  Stage 2A2 & 2B (Completed April 2021)
-  Stage 2B2 (Completed Late May- Early June 2021)
-  Stage 2C & Partial (Completed July 2021)
-  Existing School/Previous Stages





External Works

Legend

- Stage 2A1/ Stage 2A1 Progressive (Completed Areas)
- Stage 2A2 & 2B (Completed April 2021)
- Stage 2B2 (Completed Late May- Early June 2021)
- Stage 2C & Partial (Completed July 2021)
- Existing School/Previous Stages

Issued under Environmental Planning & Assessment Act 1979
Environmental Planning & Assessment Regulation 2000

Certificate Number: 20000325 / 9

Section A The Application

1. Details of the Applicant

Name: NSW Department of Education, School Infrastructure NSW
Address: Level 8, 259 George Street Sydney 2000
Phone:
Email: jim.lewis@det.nsw.com.au
Job Reference no. 19000313

2. Details of the property

Unit / Street Number: 100
Street Name: Eton Road
Suburb & Postcode: Lindfield 2070
Title Particulars (Lot & DP/SP): 2 & 4 DP1151638

3. - Description of the Approved Development

Staged construction and operation of Lindfield Learning Village, including:

- adaptive reuse of existing buildings to cater for up to 2000 students;
- alterations and additions to the existing buildings, including construction of a Covered Outdoor Learning Area (COLA) and external egress staircase;
- access arrangements, including provision of drop-off/pick-up and turnaround facilities for vehicles and buses;
- construction of a fire trail for bush fire management purposes;
- tree removal and provision of open play space areas and other associated landscaping works, and
- associated infrastructure works.

4. Description of the Development Subject of this Certificate

Stage 2A2 & 2B (refer to staging plans)

5. Class of Building

Classification of the building/s under the Building Code of Australia 7a & 9b

6. Date of Application

Date Application was received: 24 Feb 2021

Section B Development Consent Details (If applicable)

S109R Reference number: SSD 8114 Linfield learning Village
Date of issue: 21 Nov 2020

Section C Authority Having Jurisdiction

Name: Joel Lewis Accreditation No.: BDC2335
Phone: 02 9939 1530
Email: info@mbc-group.com.au
Address: Suite 3 / 18 Sydney Road Manly NSW 2095

Section D Attachments

Refer to Appendix A for the Attachments for this Certificate

Section E Fire Safety Schedule

Refer to Appendix B for the Fire Safety Schedule for this Certificate

Section F Certification

I certify that

the building is suitable for occupation or use in accordance with its classification under the Building Code of Australia

Section G Signature

Signature:



Signed by:

Joel Lewis

Accreditation No.

BDC2335

Date of endorsement:

19 Apr 2021

Certificate Number:

20000325 / 9

Section H Dates

Date of this Certificate:

19 Apr 2021

APPENDIX A

Attachments

- Bushfire Certificate - prepared by Lew Short of Blackash dated 12 Apr 2021
- Ceiling Heights Condition Statement - prepared by Peter Krause of SINSW, dated 15 April 2021
- SSDA Condition D18 - Road Safety Audit Report No.JN20047_Report01 Rev02 prepared by Aaron Walton of AMWC RSA dated 15 Apr 2021
- SSDA Condition D18 and D19 - Civil Works Compliance Certificate prepared by Cameron Amri of Birzulis Associates Pty Ltd dated 14 Apr 2021
- SSDA Condition D29 - Accessibility Ramp and Parking Level 3 Statement prepared by Deb Smithers of Lindfield Learning Village dated 16 Apr 2021
- SSDA Condition D29 - Installation Certificate Landscaping prepared by Adam Parkinson of Stone Will Landscaping dated 16 Apr 2021
- SSDA Condition D4 - Civil Works Work as Executed Plans prepared by Usher & Company dated 13 Apr 2021
- Fire Register Hanna Bros Lindfield updated 23.02.2021
- Installation Certificate - Access for Persons with Disability prepared by Reeshika Vallabah of Code Consulting dated 25 Jan 2021
- Installation Certificate - Building fabric and thermal construction; Provision for window cleaning, Insulation & sarking and Roof coverings and sarking prepared by Simon Carnovale of AGF Metal Roofing Pty Ltd dated 27 mar 2021
- Installation Certificate - Door hardware prepared by John Mills of Sound Construction Group dated 26 Mar 2021
- Installation Certificate - Electrical Installation prepared by Bruno Rao of Raston Group daetd 29 Mar 2021
- Installation Certificate - Facilities for Energy Monitoring prepared by Navid Hamidi of JEC Air Conditioning Services dated 09 Apr 2021
- Installation Certificate - Fire & Smoke Doors, Fire & Smoke Rated Windows/Curtains/Shutters, Smoke Proof Construction prepared by Brendan Kennedy of Smoke Control Systems Pty Ltd dated 12 Apr 2021
- Installation Certificate - Fire Hazard Properties and Slip resistance prepared by Ryan L'Estrange of Carpet Cutters Commercial Pty Ltd dated 07 Apr 2021
- Installation Certificate - Fire Seals and Fire Dampers prepared by Navid Hamidi of JEC Air Conditioning Services dated 09 Apr 2021
- Installation Certificate - Fire Seals prepared by Linghui LI of MFP Group Pty Ltd dated 29 Mr 202
- Installation Certificate - Fire Seals, Fire Hose Reel and Fire Hydrant System prepared by Nathan Hanna of Hanna Bros Plumbing Pty Ltd dated 29 Mar 2021
- Installation Certificate - Fire Services Installation prepared by Bruno Rao of Raston Group daetd 29 Mar 2021
- Installation Certificate - Fire Services Installation prepared by Greg Roberts of Stop Fire and Kris Barnes of Evolution Fire Protection dated 12 Apr 2021
- Installation Certificate - Fire Services Installation prepared by Wenqiang Yao of YH Interiors Company Pty Ltd dated 30 Mar 2021
- Installation Certificate - Glazing External prepared by Brendan Kennedy of Smoke Control Systems Pty Ltd dated 12 Apr 2021
- Installation Certificate - Glazing Internal and External prepared by Supplied Holdings Pty Ltd dated 29 Mar 2021
- Installation Certificate - Hearing Augmentation prepared by Bruno Rao of Raston Group daetd 29 Mar 2021
- Installation Certificate - Lifts prepared by Brett Harris of Infinity Lifts Pty Ltd dated 13 Apr 2021
- Installation Certificate - Main Contractor Consistency Statement, Ceiling Heights and Facilities for Energy monitoring prepared by Reg Strawts of Hindmarsh Construction dated 14 Apr 2021
- Installation Certificate - Mechanical Ventilation prepared by Navid Hamidi of JEC Air Conditioning Services dated 09 Apr 2021

- Installation Certificate - Plumbing Installation and Accessibility Sanitary Facilities prepared by Nathan Hanna of Hanna Bros Plumbing Pty Ltd dated 29 Mar 2021
- Installation Certificate - Smoke Proof Construction & Fire and Smoke Doors prepared by John Mills of Sound Construction Group dated 26 Mar 2021
- Installation Certificate - Stair Construction and Stair Treads and Risers prepared by Brendan O'Sullivan of Datum Group Constructions Pty Ltd dated 09 Apr 2021
- Installation Certificate - Stair Treads and Risers prepared by Ryan L'Estrange of Carpet Cutters Commercial Pty Ltd dated 07 Apr 2021
- Installation Certificate - Structural Works and Fire Compartmentation prepared by Steve Azzopardi of Brickmen Constructions Australia Pty Ltd dated 29 Mar 2021
- Installation Certificate - Structural Works prepared by Paul Giles of Australian Structural Steel Pty Ltd dated 13 Apr 2021
- Installation Certificate - Structural Works prepared by Supplied Holdings Pty Ltd dated 29 Mar 2021
- Installation Certificate - Structural Works, Balustrading, Stair Width and Glazing External prepared by Jiamin Zhang of Firmtech Aluminium Pty Ltd dated 12 Apr 2021
- Installation Certificate - Structural Works, Balustrading, Stair Width and Glazing External prepared by Thomas Yang of Fly Engineering Pty Ltd dated 12 Apr 2021
- Installation Certificate - Structural Works, Stormwater Drainage and Civil Works, Civil Roadworks and Carparking prepared by Matthew Stephen of ACE Civil Pty Ltd dated 14 Apr 2021
- Installation Certificate - TGSI's and Stair Treads and Raisers prepared by Thomas Deayton of Walmay Architectural Products Pty Ltd dated 13 Apr 2021
- Installation Certificate - Warning and Operational Signs prepared by Matthew Hayes of Wizardry Imaging & Signs dated 29 Mar 2021
- Installation Certificate - Waterproofing Wet Areas prepared by Josef Bayssari of 1st Class Waterproofing dated 14 Apr 2021
- Installation Certificate - Window Cleaning prepared by Adam Waters of RIS Safety dated 12 Apr 2021
- Interim Fire Safety Certificate Stage 2b dated 12 Apr 2021
- Passive Fire Protection Installation Report - prepared by MMax Fire Protection Services dated 29 Jan 2021
- Roof & Facade Bushfire Measures Conformance Report No.113326-BMCRE-R1 - Rev 3 prepared by Andrew Sung of Stephen Grubits & Associates dated 16 April 2021
- Structural Works Compliance Design Certificate - prepared by Michael Grogan of Birzulis Associates dated 13 Apr 2021
- Fire Engineering Conformance Report No.113326-fecr-r2- Rev R4 prepared by Andrew Sung of Stephen Grubits & Associates dated 19 April 2021
- SSDA Condition D18 - Road Safety Audit Statement prepared by Arup, dated 19 April 2021
- Staging Plans

APPENDIX B

Fire Safety Schedule

(Pursuant to Clause 168 of the Environmental Planning and Assessment Regulation 2000)

FIRE SAFETY SCHEDULE - LLV PHASE 1

Fire Safety Measures	Status*	Minimum Standard of Performance
Access panels and doors to fire resisting shafts	E	BCA2016 Clause C3.13
Automatic fire detection and alarm system	E	BCA2016 Clause E2.2a, Clause 4, 5 & 6 of Specification E2.2a and ASI 670.1-2015 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130_FER_05, Revision B, dated 21/3/19
Automatic fire suppression system (sprinkler system)	E	BCA2016 Clause E1.5, AS2118.1-1999 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130_FER_05, Revision B, dated 21/3/19
Automatic fail safe device (automatic closing device to certain fire doors)	E	BCA2016 Clause C3.5 (b)
Automatic fail safe device (fail-safe devices to unlock doors to woodwork and kitchen from corridor in Zone A)	E	BCA2016 Clause D2.21
Automatic fail safe device (fail-safe devices to unlock doors of main entry and lobby at Level 5)	E	BCA2016 Clause D2.21
Drencher protected glazing (Level 6, Zone C store room)	E	Tyco Data Sheet (APPENDIX F) Section 2 in AS4118.2.1:1995 AS2419.1 :2005 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER_05, Revision B, dated 21/3/19
Emergency lighting	E	BCA2016 Clauses E4.2 & E4.4, AS2293.1-2005
Exit signs	E	BCA2016 Clauses E4.5, E4.6 & E4.8, AS2293.12005
Fire dampers	E	BCA2016 Clause C3.15, Specification C3.15, Clause E2.2, AS 1530.4-2014, AS/NZS1668.12015, AS1682.1 & 2 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130_FER_05, Revision B, dated 21/3/19
Fire doors	E	BCA2016 Specification C3.4, ASI 905.1-2015
Fire hose reel system	E	BCA2016 Clause E1.4, AS2441-2005 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER 05, Revision B, dated 21/3/19
Fire hydrant system	E	BCA2016 Clause E1.3, AS2419.1-2005 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER 05, Revision B, dated 21/3/19

Fire-seals protecting openings in fire resisting components of the building	E	BCA2016 Clause C3.15 & Specification C3.15
Lightweight fire-rated construction (Promatect 250 covering to structural columns and beams in Auditorium) (Cafc0300 spray to Auditorium structural steel under stage and to plenum) (Trafalgar BH3-120 Maxilite board enclosure to cable tray within Level 3 carpark) (Fire-rated plasterboard wall systems)	E	BCA2016 Clause / Specification CL .8, ASI 530.4 & Manufacturer's installation instructions
Mechanical air handling systems Automatic shutdown of air-handling systems	E	BCA2016 NSW Table E2.2b, Clause 5 of Specification E2.2a & AS 1670.1-2015
Mechanical air handling systems Smoke exhaust system to Performing Arts Auditorium fire compartment	E	BCA2016 NSW Table E2.2b, Specification E2.2b & AS/NZS1668.1-2015
Paths of travel, stairways, passageways or ramps	E	BCA2016 Section D & EP&A Regulation 2000 Clause 184 to 186
Portable fire extinguishers	E	BCA2016 Clause E1 .6, AS2444-2001 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER 05, Revision B, dated 21/3/19
Required automatic exit doors	E	BCA2016 Clause 02.19
Sound system and intercom systems for emergency purposes (EWIS)	E	BCA2016 Clause E4.9, ASI 670.4-2015 & Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER 05, Revision B, dated 21/3/19
Smoke dampers	E	BCA2016 Clause E2.2(b), Clause 7.5 of AS 1670.1
Warning and operational signs <ul style="list-style-type: none"> • signs on fire doors • fire exit signs • Lift warning signage • Signage to mechanical fire dampers in Zones A & E 	E	BCA2016 Clause D2.23 EP&A Regulation 2000 Clause 183 BCA2016 Clause E3.3 Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER 05, Revision B, dated 21/3/19
Building Management Plan	E	Fire Engineering Report prepared by Affinity Fire Engineering, report no. 162130 FER 05, Revision B, dated 21/3/19

Notes

* Indicate whether the measure is new (N), existing (E) or Modified (M)

** Date (DD-MM-YY) measure was assessed by a properly qualified person

FIRE SAFETY SCHEDULE – LLV PHASE 2

Fire Safety Measures	Status*	Minimum Standard of Performance
Access panels, doors to fire-resisting shafts	N	BCA 2019 Clause C3.13, AS 1905.1-2015, AS1905.2-2005.
Automatic fail-safe devices	N	BCA 2019, D2.21, clause C3.5 (b) and AS 1670.1-2018
Automatic fire detection and alarm system	N	BCA 2019 Clause E2.2a, Spec. E2.2a, and AS 1670.1-2018 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Automatic fire suppression system	N	BCA 2019, Spec. E1.5, Spec. E2.2, AS 2118.1- 2017 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Emergency evacuation procedures	N	Clause 43 of the Work Health & Safety Regulation 2011
Emergency lighting	N	BCA 2019 Clause E4.2, E4.3 E4.4, AS 2293.1-2005
Exit and directional signage	N	BCA 2019 Clause E4.5, NSW E4.6 & E4.8, Spec E4.8 and AS 2293.1-2005,
Emergency warning and intercommunication systems	N	BCA 2019 Clause E4.9, AS 1670.4-2018
Fire control centres	N	BCA 2016 Clause E1.8, Spec E1.8
Fire dampers	N	BCA 2019 Clause E2.2, C2.5, C3.12, C3.15, Spec E1.8, Spec E2.2, Spec C2.5, AS/NZS 1668.1-2015, AS 1682.1-2015, AS 1682.2-2015 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Fire doors	N	BCA 2019 Clause C2.12, C2.13, C3.4, C3.6, C3.8, Spec C3.4,

		AS 1905.1-2015
Fire hose reel systems	N	BCA 2019 Clause E1.4, AS 2441-2005 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Fire hydrant systems	N	BCA 2019 Clause C2.12, E1.3, AS 2419.1-2005 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Fire seals (protecting openings and service penetrations in fire resisting components of the building)	N	BCA 2019 Clause C3.12, C3.15, Spec C3.15, AS 4072.1-2005, AS 1530.4-2014, Manufacturer's specifications
Fire Shutters	N	BCA 2019, Clause D1.7, C3.4 and spec. C3.4 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Fire windows (including frame)	N	BCA 2019 Clause C3.4, BCA Spec C3.4, AS 1288-2006 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Lightweight construction	N	BCA 2019 Clause C1.8, Spec A2.3, Spec C1.8, Manufacturer's specifications Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Mechanical air handling systems	N	BCA 2019 Clause C2.3, E2.2, Spec. E1.8, Spec E2.2a, Spec G3.8, AS/NZS 1668.1-2015, AS 1668.2-2012 Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Openings in fire-isolated lift shafts	N	BCA 2019 Clause C3.10, AS 1735.11-1986
Path of travel for stairways, passageway and ramps	N	Clauses 183-186 of the Environmental Planning and Assessment Regulation 2000

		Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020
Portable fire extinguishers	N	BCA 2019 Clause E1.6 and AS 2444-2001
Required automatic exit doors	N	BCA 2019 Clause D2.19, D2.21
Sound systems and intercom systems for emergency purposes	N	BCA 2019 Clause E4.9, G3.8, AS 1670.4-2015
Wall wetting sprinkler and drencher systems	N	BCA 2019 Clause C3.4, Spec G3.8, AS 2118.2-2010
Warning and operational signs	N	BCA 2016 Clause C3.6, D2.23, E3.3, Spec E1.8, Clause 183 of the Environmental Planning and Assessment Regulation 2000
Fire Engineering Report No. 2018/321 R7.0 prepared by Stephen Grubits & Associates, dated 18.12.2020	N	<p>The storage area within fire compartment B has a floor area greater than 10% of floor area of level 2. The use of this area is Class 7b (storage) which requires building element to achieve an FRL of not less than 240/240/240 or the area being fire-separated by a firewall which achieves an FRL of not less than 240/240/240.</p> <p>There is an opening connecting Fire Compartment F and Fire Compartment 5 of Level 5 Zone F. It is proposed to provide a fire-resisting curtain to fire-separate the two fire compartments in lieu of a sliding fire door due to limitations in cavity space for the sliding door.</p> <p>Fire-isolated stairway M1 is provided with openings within the external wall of the fire-isolated stair M1 throughout Levels 1-4 of Zone M, which are within 6 m of other openings but are not to be protected in accordance with Clause C3.4 of the BCA.</p> <p>Level 3 Zone J – There is an existing internal stairway which currently connects four (4) storeys. It is proposed to fire-separate the stairway at Level 3 by a new wall, tempered glazing and fire-resisting curtain. The whole stairway is required to be contained within a fire-isolated shaft which discharges outside the building.</p> <p>The following areas exceed the maximum allowable travel distance to an exit:</p> <ul style="list-style-type: none"> • Level 1 Zone P – Travel distance to a point of choice from Plant Room is greater than 20 m of up to 25 m; • Level 2 Zone K – Travel distance to a point of choice from GA Store is greater than 20 m of up to 25 m; • Level 2 Zone N – Travel distance to a point of choice exceeds 20 m up to 25 m; • Level 3 Zone K – <ul style="list-style-type: none"> o Travel distance to required exit exceeds 40 m of up

- o Travel distance to point of choice exceeds 20 m of up to 35 m;
- Level 3 Zone N –
 - o Travel distance to a point of choice exceeds 20 m of up to 30 m; and
 - o Travel distances to a required exit exceeds 40 m of up to 50 m.
- Level 4 Zone K –
 - o Travel distance to a point of choice exceeds 20 m of up to 47 m; and
 - o Travel distance to the nearest exit exceeds 40 m of up to 60 m.
- Level 4 Zone N –
 - o Travel distance to a point of choice exceeds 20 m of up to 30 m; and
 - o Travel distance to the nearest exit exceeds 40 m of up to 50 m.
- Level 4 Zone P – Travel distance to a point of choice exceeds 20 m of up to 21 m.

The following areas exceed the maximum allowable travel distance to an exit:

- Level 2 Zone P - Travel distance between alternative exits exceed 60 m of up to 68 m.
- Level 3 Zone P - Travel distance between alternative exits exceed 60 m of up to 80 m.
- Level 4 Zone F – Travel distance between alternative exits exceed 60 m of up to 65 m.

The following area exceed the maximum allowable travel distance:

- Level 3 Zone J (Carpark) –
 - o Travel distance between alternative exits exceed 60 m of up to 72 m
- The required internal stairway Stair G3 connecting Level 4 and Level 5 on Zone G of the building has a reduced unobstructed width of 0.9 m in lieu of the required 1 m;
- The required spiral stairway Stair P4 on Level 4 Zone P of the building has a reduced unobstructed width of 0.8 m in lieu of the required 1 m; and
- The required spiral stairway on Level 6 Zone J of the building has a reduced unobstructed width of 0.8 m in lieu of the required 1 m.

Level 2 Zone K – The fire-isolated stairway discharges into public corridor before access to required exits that leads to the terrace. The path of travel to open space necessitates access past window and doorway opening.

- Level 2 – Zone P – Required exits that discharge onto external terraces (Level 2) where the path of travel to the public road, necessitates passing underneath covered area (shade sails) as it is not considered to be open to the sky.
- Level 2 – Zone N – Required exit that discharge onto

		<p>the outside necessitates passing underneath the COLA, which is considered not to be an open space.</p> <ul style="list-style-type: none"> Level 1 – Zone P – Required exit that discharge onto the outside necessitates passing underneath a covered Walkway N1.1, which is considered not to be an open space.
		<p>Internal hydrant outlets are to be omitted within the landings of Stair K5 on Levels 3-5 of Zone K. Therefore, hydrant coverage is proposed to be provided from other hydrants from Stair K1 throughout Levels 3-5 of Zone K, which would require hose length of up to 60 m.</p>
		<p>Internal hydrant outlets are to be provided within a fire-isolated lobby in lieu of being within the landings of Stair K5 on Level 6 Zone K.</p>
		<p>The following extended travels are in relation to the completion of construction phase Stage 2A, prior to completion of Stage 2B. Once Stage 2B is complete, the following extended travel distances will be compliant with DTS Provisions of the BCA:</p> <ul style="list-style-type: none"> Level 4 Zone J External Terrace – <ul style="list-style-type: none"> o Travel distance to a point of choice exceeds 20 m of up to 25 m; and o Travel distance between alternative exits exceed 60 m of up to 80 m

Notes

* Indicate whether the measure is new (N), existing (E) or Modified (M)

APPENDIX C

Conditions of NCC (BCA 2019) Crown Certificate:

- Completion of temporary measures as detailed in the Fire Engineering Conformance Report prepared by Stephen Grubits & Associates, dated 25 February 2021
- Completion of temporary measures as detailed in the Bushfire Compliance Report prepared by Stephen Grubits & Associates, dated 25 February 2021
- Reduction in ceiling heights as detailed in in the condition statement prepared by SINSW, dated 26 January 2021
- Lodgement of the fire engineering report has not been completed with FRNSW
- Reduced head height to the storeroom of 1900mm in lieu of 2100mm.
- Weatherproofing requirements have not been satisfied in accordance with the requirements of FP1.4 of the BCA.

Lindfield Learning Village – Stage 2

ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D110183-182960	Hardware - General	23-02-2021	LLV Internal/Structure	Level 5	Zone F	B.5.83 (Zone F) - Kit'n- Type 1	OPEN	<input type="checkbox"/>

Work Required

Master key cylinder can not be installed on site. Handle will have to be removed and sent to a locksmith to have cylinder installed and then brought back to site.
Common to all external sliding doors.
Hindmarsh will provide Master key cylinder

Assigned To

Supplied Holdings Pty Ltd

Due Date

28-02-2021

Attachments



ID	Description	Date	Building	Level	Room	Room	Status	Complete
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ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110183-182967

Cleaning -

23-02-2021

LLV Internal/Structure

Level 5

Zone F

B.5.83 (Zone F) - Kit'n- Type 1

OPEN



Work Required

Cooper pipe to be cleaned

Assigned To

RODAUX PTY LTD

Due Date

28-02-2021

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110184-181909

Paint -

10-02-2021

LLV Internal/Structure

Level 5

Zone F

B.5.85 (Zone F) - Cafe/Seminar/VET-Food & Bev

OPEN



Work Required

Shadow line needs to be painted

Assigned To

Y H Interiors Company Pty. Ltd

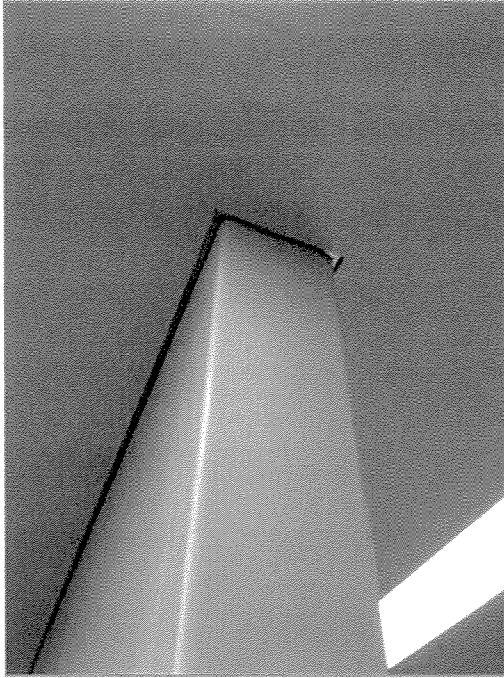
Due Date

14-02-2021

Comments

OPEN: Incomplete (Added by: swatts@savills.com.au)

Attachments



Lindfield Learning Village – Stage 2

ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110053-185129

1 Misc

31-03-2021

LLV Internal/Structure

Year 4

Zone J

D.4.26 (Zone J) - Shared Science Lab 6

OPEN



Work Required

Scratched table top

Assigned To

Winc Australia Pty Ltd

Due Date

05-04-2021

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110053-185250

Joinery -

01-04-2021

LLV Internal/Structure

Year 4

Zone J

D.4.26 (Zone J) - Shared Science Lab 6

OPEN



Work Required

Door hardware missing

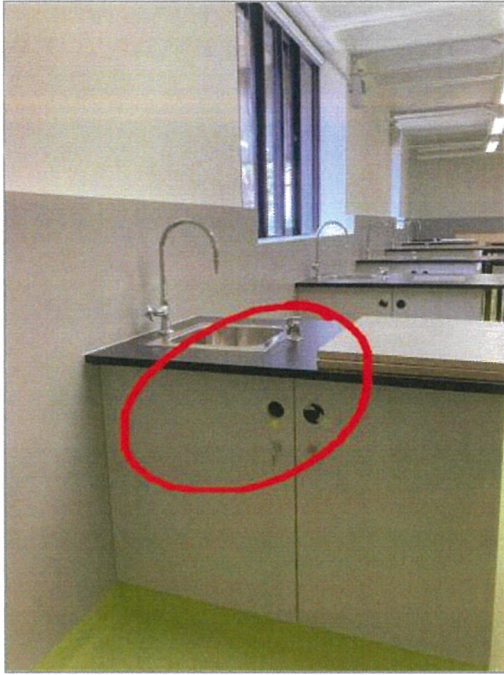
Assigned To

Winc Australia Pty Ltd

Due Date

06-04-2021

Attachments



Lindfield Learning Village – Stage 2

ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D109933-183783

Caulking -

04-03-2021

LLV Internal/Structure

Year 3

Zone P

D.3.100 (Zone P) - Circulation

OPEN

Work Required	Recaulking		
Assigned To	HINDMARSH CONSTRUCTION AUSTRALIA	Due Date	14-04-2021

Comments Not Supplied defect but requires caulking (Added by: peter.hanna)
Status set to "OPEN". (Added by: swatts@savills.com.au)

Attachments



Lindfield Learning Village – Stage 2

ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D109953-183663	Plaster -	04-03-2021	LLV Internal/Structure	Year 3	Zone K	D.3.123 (Zone K) - Year 11	OPEN	<input type="checkbox"/>
Work Required	Patch and clean up pencil marks							
Assigned To	RODAUX PTY LTD				Due Date	13-04-2021		

check whole wall (Added by: stuart.williams)

Comments Status set to "Ready to inspect". (Added by: stuart.williams)

OPEN: New pencil marks. Chip in wall as well (Added by: swatts@savills.com.au)

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D109954-184766	Glazing	24-03-2021	LLV Internal/Structure	Year 3	Zone K	D.3.124 (Zone K) - Year 12	OPEN	<input type="checkbox"/>
Work Required	Drop seal missing							
Assigned To	Smoke Control Systems Pty Ltd				Due Date	29-03-2021		

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D109969-186146

Painting - General

19-04-2021

LLV Internal/Structure

Year 3

Zone K

D.3.144 (Zone K) - Shared Maker Space

OPEN

Work Required

Paint around sprinkler to match ceiling

Assigned To

BBC PAINTING NSW PTY LTD

Due Date

24-04-2021

Attachments



Lindfield Learning Village – Stage 2

ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D109685-183202	facade Tiling - damaged	25-02-2021	LLV Courtyards/Terraces	Level 1	D.1.49 (Zone P)	Terrace	OPEN	<input type="checkbox"/>
Work Required	Broken tiles							
Assigned To	Versatile Interiors Pty Ltd				Due Date	02-03-2021		

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110337-186099 Painting - General 15-04-2021 LLV Courtyards/Terraces Level 2 D.2.81 (Zone P) Ramp 01 OPEN

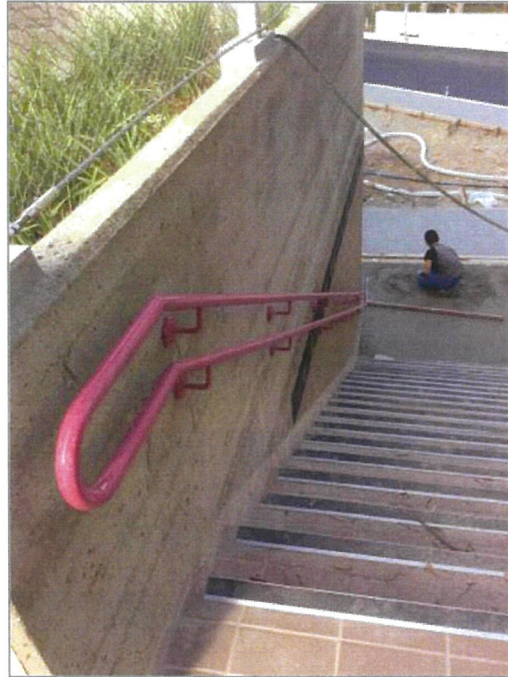
Work Required Courtyard 2: railings to be painted
Lights to be covered or cables removed

Assigned To Raston Group Pty Ltd

Due Date 20-04-2021

Comments Painting to be completed once surrounding works complete (Added by: robert.najjar)

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110337-186100 1 Misc 15-04-2021 LLV Courtyards/Terraces Level 2 D.2.81 (Zone P) Ramp 01 OPEN

Work Required Courtyard 2: clean graffiti

Assigned To HINDMARSH CONSTRUCTION AUSTRALIA

Due Date 20-04-2021

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110337-186083	1 Misc	15-04-2021	LLV Courtyards/Terraces	Level 2	D.2.81 (Zone P)	Ramp 01	OPEN	<input type="checkbox"/>
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Work Required

Courtyard 2: window base to be finished correctly. Door trap to be supported and wooden wedge removed

Assigned To

Versatile Interiors Pty Ltd

Due Date

20-04-2021

Attachments



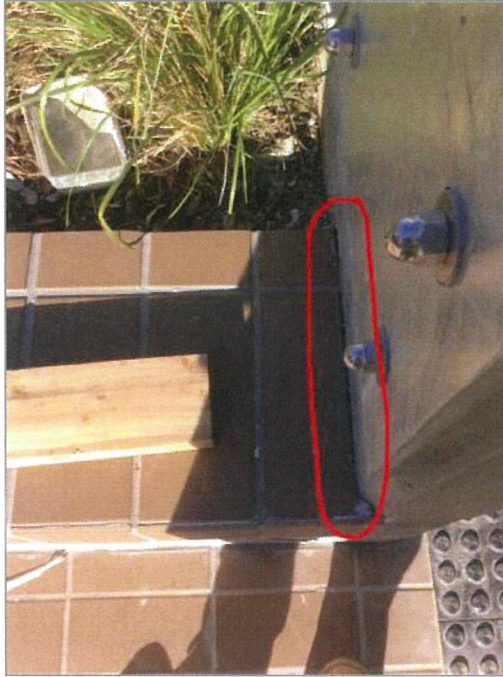
ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110337-186087 1 Misc 15-04-2021 LLV Courtyards/Terraces Level 2 D.2.81 (Zone P) Ramp 01 OPEN

Work Required Courtyard 2: clean wall under tiles. Tiles to concrete to be sealed

Assigned To Versatile Interiors Pty Ltd **Due Date** 20-04-2021

Attachments



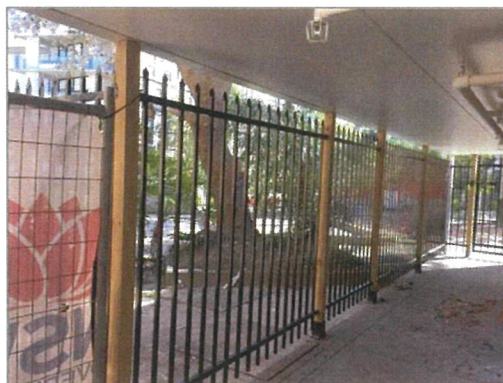
ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110330-185829 Courtyard Fencing 13-04-2021 LLV Courtyards/Terraces Level 2 G.2.3 (Zone E) Covered Outdoor Workshop OPEN

Work Required All posts to be steal except where required due to proximity to substation

Assigned To Colemans Group **Due Date** 18-04-2021

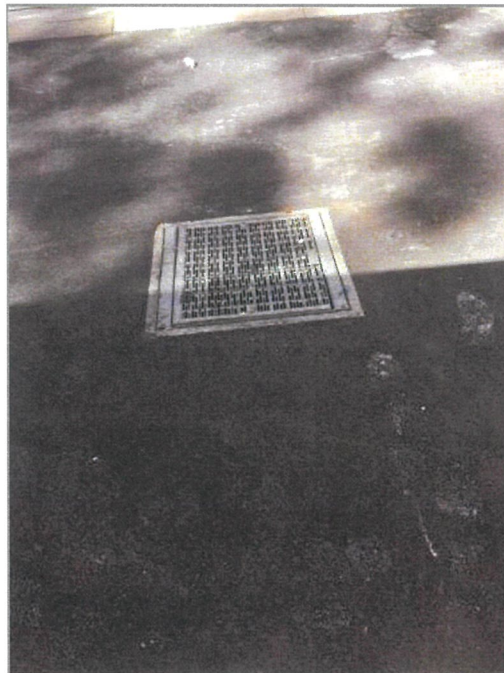
Attachments





ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D110330-185992	Asphalt	15-04-2021	LLV Courtyards/Terraces	Level 2	G.2.3 (Zone E)	Covered Outdoor Workshop	OPEN	<input type="checkbox"/>
Work Required	Raise asphalt to stop ponding							
Assigned To	ACE CIVIL PTY LTD				Due Date	18-04-2021		

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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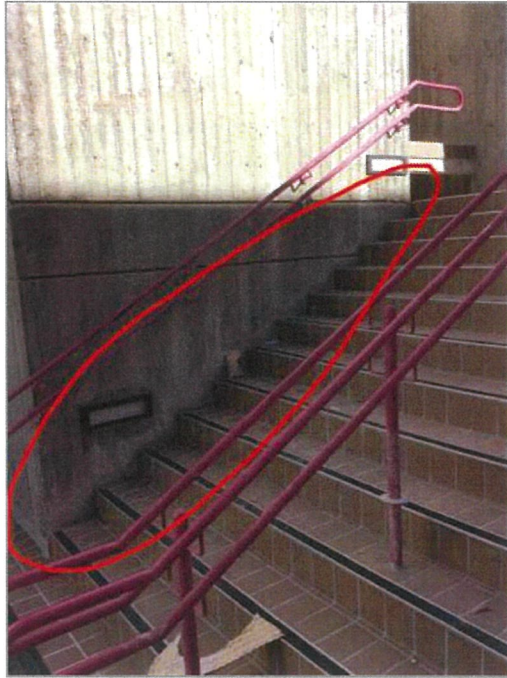
D110347-186029	Cleaning -	15-04-2021	LLV Courtyards/Terraces	Level 4	D.4.123 (Zone K)	Outdoor Terrace	OPEN	<input type="checkbox"/>
Work Required	Clean speaker and clear slurry							
Assigned To	RODAUX PTY LTD				Due Date	20-04-2021		

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D110347-186040	1 Misc	15-04-2021	LLV Courtyards/Terraces	Level 4	D.4.123 (Zone K)	Outdoor Terrace	OPEN	<input type="checkbox"/>
Work Required	Clear slurry							
Assigned To	RODAUX PTY LTD				Due Date	20-04-2021		

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110347-186042	1 Misc	15-04-2021	LLV Courtyards/Terraces	Level 4	D.4.123 (Zone K)	Outdoor Terrace	OPEN	<input type="checkbox"/>
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Work Required	Clean salt stains and light						
Assigned To	RODAUX PTY LTD				Due Date	20-04-2021	

Attachments

ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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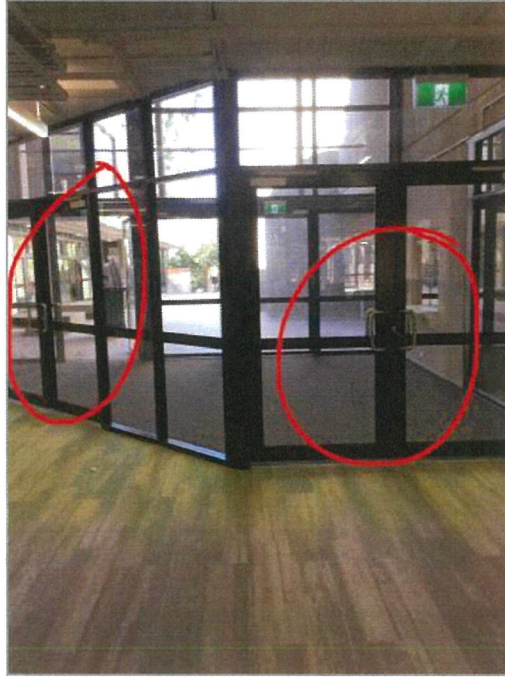
D110347-186048 Doors - 15-04-2021 LLV Courtyards/Terraces Level 4 D.4.123 (Zone K) Outdoor Terrace OPEN

Work Required Squeaky doors

Assigned To Supplied Holdings Pty Ltd

Due Date 16-04-2021

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110347-186036 Aluminium Windows-general 15-04-2021 LLV Courtyards/Terraces Level 4 D.4.123 (Zone K) Outdoor Terrace OPEN

Work Required Bottom window joint missing. Fix alignment on corner

Assigned To Supplied Holdings Pty Ltd

Due Date 20-04-2021

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
D110346-186060	Windows - General	15-04-2021	LLV Courtyards/Terraces	Level 4	E.4.55 (Zone J)	Outdoor Courtyard	OPEN	<input type="checkbox"/>
Work Required		Clean window. Seals to be revised						
Assigned To		RODAUX PTY LTD			Due Date		20-04-2021	

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110346-186051 Cleaning - 15-04-2021 LLV Courtyards/Terraces Level 4 E.4.55 (Zone J) Outdoor Courtyard OPEN

Work Required Clean

Assigned To Versatile Interiors Pty Ltd

Due Date 16-04-2021

Attachments



ID	Description	Date Entered	Building	Level	Room Number	Room Location / Type	Status	Complete
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D110348-185990 Cleaning - General 15-04-2021 LLV Courtyards/Terraces Level 5 D.5.55 (Zone K) Outdoor Terrace OPEN

Work Required Lean slurry

Assigned To BRICKMEN CONSTRUCTIONS AUSTRALIA PTY LTD

Due Date 16-04-2021

Attachments

