

© COPYRIGHT  
 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD (ACN 109 225 148) (TA BICKERTON MASTERS AND BM HEDE PTY LTD (ACN 631 149 996) (TA HEDE ARCHITECTS) AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE AFORESAID LEGAL ENTITIES.  
 BICKERTON MASTERS AND HEDE ARCHITECTS ACCEPT NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE. IF THIS IS A COLOURED DRAWING AND IS PRINTED IN BLACK & WHITE NOT ALL INFORMATION MAY BE LEGIBLE.  
 NSW NOMINATED ARCHITECT: ANDREW MASTERS (9037)

REV	DATE	DETAILS	ISSUER
1	16.06.2023	SSDA MODIFICATIONS & FRONT ENTRY UPDATE	ZB
2	16.06.2023	SSDA MODIFICATIONS	ZB
3	25.08.2023	SSDA MODIFICATIONS	ZB
4	04.10.2023	SSDA MOD - FRONT ENTRY UPDATE	ZB

### LEGEND - SITE DEMOLITION PLAN

SYMBOL / GRAPHIC	DESCRIPTION
---	PROPERTY BOUNDARY
---	EXTENT OF WORKS
○	EXISTING TREE TO REMAIN
○	EXISTING TREE TO BE REMOVED
□	EXISTING TO REMAIN (OUT OF SCOPE)
▨	EXISTING TO BE DEMOLISHED (AS SEEN WHEN CUT)
▨	EXISTING TO BE DEMOLISHED (AS SEEN IN PROJECTION)

### SITE BUILDINGS LEGEND

LABEL	DESCRIPTION
A	BUILDING A - ADMINISTRATION
B	BUILDING B
C	BUILDING C - SENIOR SCHOOL + LIBRARY
D	BUILDING D - GENERAL LEARNING AREAS
DS	EXISTING DANCE STUDIO
F	BUILDING F - GENERAL LEARNING AREAS
G	BUILDING G - FOOD TECH
H	BUILDING H - HALL + COLA
J	BUILDING J - TAFE
K	BUILDING K
L	BUILDING L
PE	PHYSICAL EDUCATION

CLIENT:  
**RICHARD CROOKES CONSTRUCTIONS**  
 Education School Infrastructure  
 NSW GOVERNMENT

PROJECT:  
**KINGSCLIFF HIGH SCHOOL - STAGE 2 MAIN WORKS**  
 33 OXFORD ST, KINGSCLIFF, NSW

DRAWING TITLE:  
 SSDA - SITE PLAN - EXISTING AND DEMOLITION - GROUND

0m 2m 4m 6m 8m 10m

SCALE @ A1: 1 : 500

DRAWN:	CHECKED:	PROJECT No.:
ZB	AB	1606
DRAWING No.:	REVISION:	DATE:
SK-1-0111	4	04.10.2023

BRISBANE  
 (07) 3257 9622  
 99 BROOKES STREET  
 FORTITUDE VALLEY  
 4006, QLD  
 www.bickertonmasters.com.au

**BIM**

- ### SITE DEMOLITION NOTES
- CUT EXISTING FLOOR SLABS FOR NEW EXCAVATIONS, FOR FOOTINGS AND SERVICES. REFER ALSO TO STRUCTURAL AND SERVICES DRAWINGS AND DOCUMENTATION FOR EXTENT OF DEMOLITION WORKS.
  - DISCONNECT ALL SERVICES PRIOR TO DEMOLITION. REFER TO CONSULTANT DRAWINGS AND DOCUMENTATION.
  - REFER TO ENG'S DRAWINGS FOR EXTENT OF UNDERPINNING OF EXISTING FOOTINGS AND WALLS, REMOVAL OF EXISTING BEAMS, COLUMNS, CONCRETE SLABS AND SEQUENCE OF REMOVAL, TEMPORARY PROPPING OF WALLS, BEAMS, COLUMNS, CONCRETE SLABS AND BRICKWORK.
  - DEMOLITION WORK TO BE COORDINATED WITH THE NEW BUILDING WORK SHOWN ON ARCHITECTURAL DOCUMENTATION AND DOCUMENTATION OF OTHER CONSULTANTS.
  - DEMOLISH ALL EXISTING ROOFS.
  - REMOVE ALL FIXTURES, FITTINGS, AND FINISHES INCLUDING TILED WALLS AND FLOORS AND CLEAN ALL SURFACES IN PREPARATION OF RECEIVING NEW FINISHES AS PER SCHEDULES OR SPECIFICATION.
  - REMOVE ALL PIPEWORK, EQUIPMENT AND SERVICES NOT SPECIFICALLY DOCUMENTED TO BE RETAINED, INCLUDING: METAL DUCTWORK, SPRINKLER PIPEWORK, CUTTERS, DOWNPIPES, ELECTRICAL FIXTURES & FITTINGS, REDUNDANT PLANT EQUIPMENT, AND REDUNDANT SIGNAGE.
  - REMOVE ALL SUSPENDED CEILINGS AND PLASTERBOARD CEILINGS INCLUDING DISCONNECTING AND REMOVING ALL ELECTRICAL SERVICES, EQUIPMENT AND LIGHT FITTINGS ETC.
  - REMOVE ALL PARTITIONING, AND OTHER LIGHTWEIGHT WALLS, TO ALL FLOORS INCLUDING ANY BUILT IN FIXTURES AND FITTINGS.
  - DISCONNECT EXISTING SANITARY FIXTURES, AND DEMOLISH ON ALL LEVELS. REMOVE ALL FITTINGS AND FIXTURES AND ALL WALL & FLOOR TILES.
- NOTE: THE BUILDER SHALL SET OUT ALL WORK ON SITE, INCLUDING THE ESTABLISHMENT OF ALL LEVELS, THE MARKING OF ALL WALLS AND THE LOCATIONS OF ALL RISER DUCTS, PRIOR TO THE COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. THIS SHALL INCLUDE A STUDY OF, AND ALLOWANCE FOR, ALL EXISTING CONDITIONS INCLUDING EXISTING SERVICES WITHIN AND AROUND THE SITE.
  - ALL SHOP DRAWINGS SHALL BE PREPARED ON THE BASIS OF SITE CONFIRMATION OF EXISTING CONDITIONS. SHOULD ANY VARIATIONS OCCUR IN THE DOCUMENTATION WHICH WILL AFFECT THE WORK, THE BUILDER SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
  - THIS DRAWING BROADLY SETS OUT DEMOLITION WORK. THE BUILDER SHALL CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS.
  - THE BUILDER SHALL ALLOW TO MAKE GOOD EDGES/SIDES OF ALL DEMOLISHED MASONRY WALLS AND WINDOWS TO CLEAR AND STRAIGHT EDGE SO AS TO ALLOW FOR FUTURE FINISHES.
  - REMOVE ALL FLOOR COVERINGS AND ADHESIVES ASSOCIATED WITH FLOOR COVERINGS. ALLOW FOR NEW FINISHES TO BE APPLIED.
  - REMOVE ALL WINDOWS, SECURITY MESH AND SCREENS
  - REMOVE ALL INTERNAL AND EXTERNAL DOORS
  - REMOVE ALL MECHANICAL DUCTWORK & EQUIPMENT WHICH EXTENDS TO PERIMETER OF BUILDING
  - REFER TO LANDSCAPE ARCHITECTS DRAWING FOR EXTENT OF REMOVAL OF EXISTING RETAINING WALLS AND EXISTING VEGETATION.
  - REMOVE ALL EXISTING PLANTER BOXES AND MAKE GOOD TO FINISHED FLOOR SURFACE SO AS TO ALLOW FOR FUTURE FINISHES.
  - WHERE STAIRS ARE TO BE DEMOLISHED ENSURE ENTIRE STAIR IS DEMOLISHED INCLUDING BALUSTRADES AND UNDERSIDE OF SOFFIT WHERE IT MEETS THE SLAB ABOVE.
  - ALL LEVELS NOTED ON DRAWINGS ARE INDICATIVE ONLY. MINOR VARIATIONS IN LEVELS ARE TO BE ALLOWED FOR.

- ### GENERAL NOTES
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH SINSW - EDUCATIONAL FACILITIES STANDARDS AND GUIDELINES (EFSG). IF A CONFLICT EXISTS BETWEEN THE EFSG AND THE DRAWINGS & SPECIFICATIONS, THE MORE ONEROUS REQUIREMENT OR CHARACTERISTIC SHALL BE ADOPTED, AND SEEK CLARIFICATION PRIOR TO PROCEEDING.
  - ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECT CONSULTANT REPORTS
  - CONTRACTOR TO CONFIRM COMPLIANCE WITH THE BCA AND DDA ACCESS REPORTS INCLUDING ALL RECOMMENDATIONS & SUGGESTED PERFORMANCE SOLUTIONS, WHERE A DISCREPANCY OCCURS BETWEEN THE REPORT & DOCUMENTATION, CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING
  - THE SET OUT DIMENSIONS REFLECT ARCHITECTURAL INTENT. IF THE DIMENSIONS ARE INCONSISTENT WITH OTHER CONSULTANT'S INPUT, THE CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING

### LEGEND - SITE EASEMENTS

SYMBOL / GRAPHIC	DESCRIPTION
---	IN-GROUND STORMWATER
---	IN-GROUND ELECTRICAL
---	SEWER - RISING MAIN
---	COUNCIL ACCESS EASEMENT
---	PROPOSED SUBSTATION ACCESS EASEMENT

## APPROVAL ISSUE NOT FOR CONSTRUCTION

REV	DATE	DETAILS	ISSUER
1	16.06.2023	SSDA MODIFICATIONS & FRONT ENTRY UPDATE	ZB
2	16.06.2023	SSDA MODIFICATIONS	ZB
3	25.08.2023	SSDA MODIFICATIONS	ZB
4	04.10.2023	SSDA MOD - FRONT ENTRY UPDATE	ZB

### LEGEND - SITE DEMOLITION PLAN

SYMBOL / GRAPHIC	DESCRIPTION
---	PROPERTY BOUNDARY
---	EXTENT OF WORKS
○	EXISTING TREE TO REMAIN
○	EXISTING TREE TO BE REMOVED
□	EXISTING TO REMAIN (OUT OF SCOPE)
▨	EXISTING TO BE DEMOLISHED (AS SEEN WHEN CUT)
▨	EXISTING TO BE DEMOLISHED (AS SEEN IN PROJECTION)

### SITE BUILDINGS LEGEND

LABEL	DESCRIPTION
A	BUILDING A - ADMINISTRATION
B	BUILDING B
C	BUILDING C - SENIOR SCHOOL + LIBRARY
D	BUILDING D - GENERAL LEARNING AREAS
DS	EXISTING DANCE STUDIO
F	BUILDING F - GENERAL LEARNING AREAS
G	BUILDING G - FOOD TECH
H	BUILDING H - HALL + COLA
J	BUILDING J - TAFE
K	BUILDING K
L	BUILDING L
PE	PHYSICAL EDUCATION

CLIENT:

**RICHARD CROOKES  
CONSTRUCTIONS**



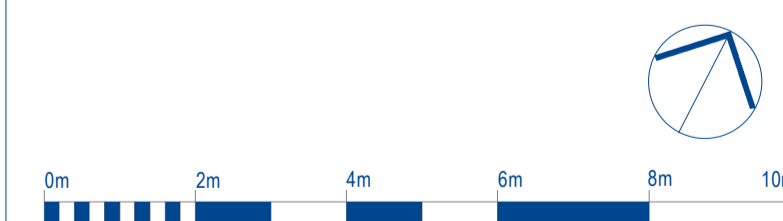
PROJECT:

**KINGSCLIFF HIGH SCHOOL -  
STAGE 2 MAIN WORKS**

33 OXFORD ST, KINGSCLIFF, NSW

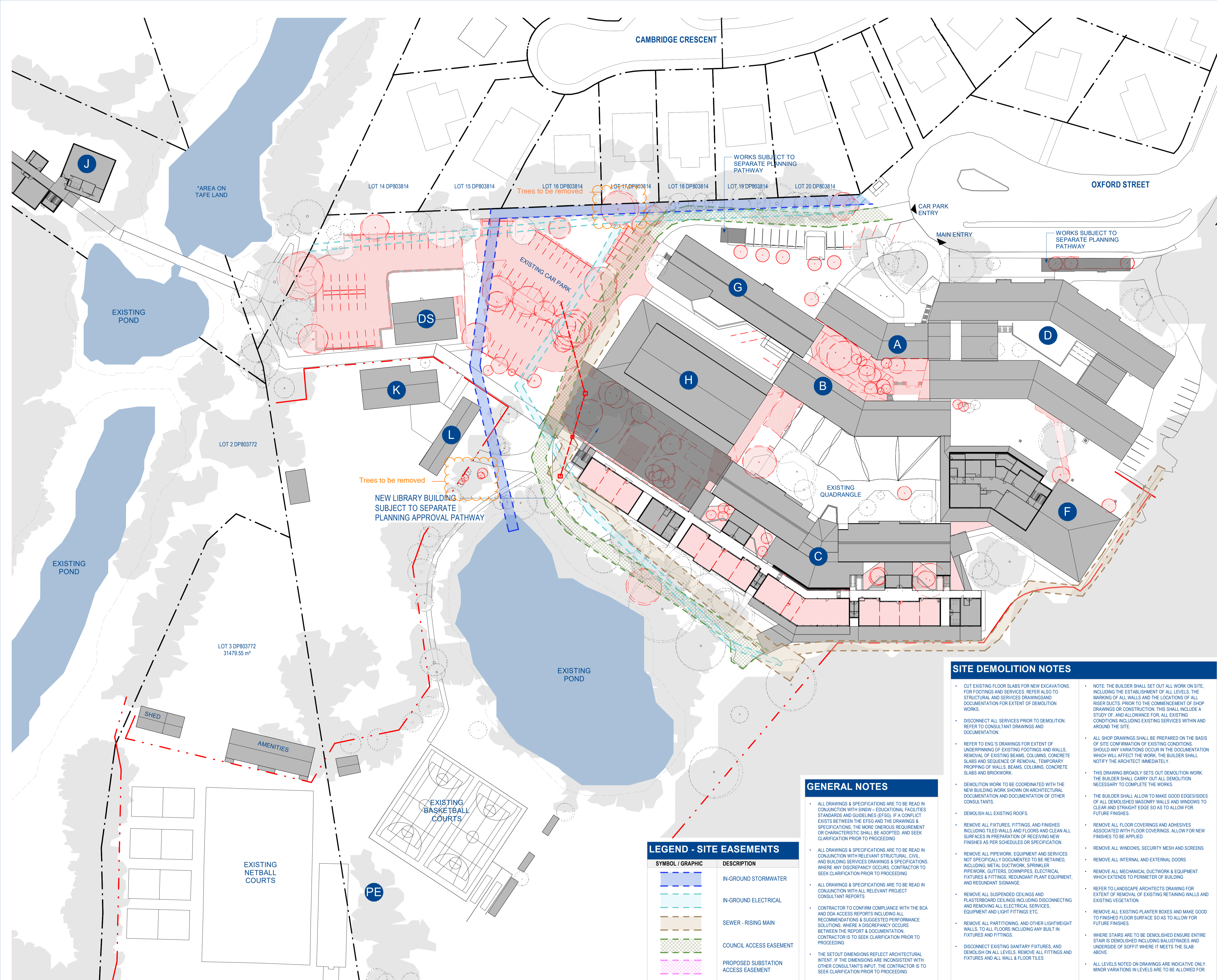
DRAWING TITLE:

SSDA - SITE PLAN - EXISTING AND  
DEMOLITION - LEVEL 1



DRAWN:	CHECKED:	PROJECT No:
ZB	AB	1606
DRAWING No:	REVISION:	DATE:
SK-1-0112	4	04.10.2023

BRISBANE  
 (07) 3257 9622  
 99 BROOKES STREET  
 FORTITUDE VALLEY  
 4006, QLD  
 www.bickertonmasters.com.au



### SITE DEMOLITION NOTES

- CUT EXISTING FLOOR SLABS FOR NEW EXCAVATIONS, FOR FOOTINGS AND SERVICES. REFER ALSO TO STRUCTURAL AND SERVICES DRAWINGS AND DOCUMENTATION FOR EXTENT OF DEMOLITION WORKS.
- DISCONNECT ALL SERVICES PRIOR TO DEMOLITION. REFER TO CONSULTANT DRAWINGS AND DOCUMENTATION.
- REFER TO ENG'S DRAWINGS FOR EXTENT OF UNDERPINNING OF EXISTING FOOTINGS AND WALLS. REMOVAL OF EXISTING BEAMS, COLUMNS, CONCRETE SLABS AND SEQUENCE OF REMOVAL, TEMPORARY PROPPING OF WALLS, BEAMS, COLUMNS, CONCRETE SLABS AND BRICKWORK.
- DEMOLITION WORK TO BE COORDINATED WITH THE NEW BUILDING WORK SHOWN ON ARCHITECTURAL DOCUMENTATION AND DOCUMENTATION OF OTHER CONSULTANTS.
- DEMOLISH ALL EXISTING ROOFS.
- REMOVE ALL FIXTURES, FITTINGS, AND FINISHES INCLUDING TILED WALLS AND FLOORS AND CLEAN ALL SURFACES IN PREPARATION OF RECEIVING NEW FINISHES AS PER SCHEDULES OR SPECIFICATION.
- REMOVE ALL PIPEWORK, EQUIPMENT AND SERVICES NOT SPECIFICALLY DOCUMENTED TO BE RETAINED, INCLUDING: METAL DUCTWORK, SPRINKLER PIPEWORK, CUTTERS, DOWNPIPES, ELECTRICAL FIXTURES & FITTINGS, REDUNDANT PLANT EQUIPMENT, AND REDUNDANT SIGNAGE.
- REMOVE ALL SUSPENDED CEILINGS AND PLASTERBOARD CEILINGS INCLUDING DISCONNECTING AND REMOVING ALL ELECTRICAL SERVICES, EQUIPMENT AND LIGHT FITTINGS ETC.
- REMOVE ALL PARTITIONING, AND OTHER LIGHTWEIGHT WALLS, TO ALL FLOORS INCLUDING ANY BUILT IN FIXTURES AND FITTINGS.
- DISCONNECT EXISTING SANITARY FIXTURES, AND DEMOLISH ON ALL LEVELS. REMOVE ALL FITTINGS AND FIXTURES AND ALL WALL & FLOOR TILES.
- NOTE: THE BUILDER SHALL SET OUT ALL WORK ON SITE, INCLUDING THE ESTABLISHMENT OF ALL LEVELS, THE MARKING OF ALL WALLS AND THE LOCATIONS OF ALL RISER DUCTS. PRIOR TO THE COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION, THIS SHALL INCLUDE A STUDY OF, AND ALLOWANCE FOR, ALL EXISTING CONDITIONS INCLUDING EXISTING SERVICES WITHIN AND AROUND THE SITE.
- ALL SHOP DRAWINGS SHALL BE PREPARED ON THE BASIS OF SITE CONFIRMATION OF EXISTING CONDITIONS. SHOULD ANY VARIATIONS OCCUR IN THE DOCUMENTATION WHICH WILL AFFECT THE WORK, THE BUILDER SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- THIS DRAWING BROADLY SETS OUT DEMOLITION WORK. THE BUILDER SHALL CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS.
- THE BUILDER SHALL ALLOW TO MAKE GOOD EDGES/SIDES OF ALL DEMOLISHED MASONRY WALLS AND WINDOWS TO CLEAR AND STRAIGHT EDGE SO AS TO ALLOW FOR FUTURE FINISHES.
- REMOVE ALL FLOOR COVERINGS AND ADHESIVES ASSOCIATED WITH FLOOR SURFACE SO AS TO ALLOW FOR NEW FINISHES TO BE APPLIED.
- REMOVE ALL WINDOWS, SECURITY MESH AND SCREENS
- REMOVE ALL INTERNAL AND EXTERNAL DOORS
- REMOVE ALL MECHANICAL DUCTWORK & EQUIPMENT WHICH EXTENDS TO PERIMETER OF BUILDING
- REFER TO LANDSCAPE ARCHITECTS DRAWING FOR EXTENT OF REMOVAL OF EXISTING RETAINING WALLS AND EXISTING VEGETATION.
- REMOVE ALL EXISTING PLANTER BOXES AND MAKE GOOD TO FINISHED FLOOR SURFACE SO AS TO ALLOW FOR FUTURE FINISHES.
- WHERE STAIRS ARE TO BE DEMOLISHED ENSURE ENTIRE STAIR IS DEMOLISHED INCLUDING BALUSTRADES AND UNDERSIDE OF SOFFIT WHERE IT MEETS THE SLAB ABOVE.
- ALL LEVELS NOTED ON DRAWINGS ARE INDICATIVE ONLY. MINOR VARIATIONS IN LEVELS ARE TO BE ALLOWED FOR.

### GENERAL NOTES

- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL, CIVIL, AND BUILDING SERVICES DRAWINGS & SPECIFICATIONS, WHERE ANY DISCREPANCY OCCURS, CONTRACTOR TO SEEK CLARIFICATION PRIOR TO PROCEEDING
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECT CONSULTANT REPORTS
- CONTRACTOR TO CONFIRM COMPLIANCE WITH THE BCA AND DDA ACCESS REPORTS INCLUDING ALL RECOMMENDATIONS & SUGGESTED PERFORMANCE SOLUTIONS, WHERE A DISCREPANCY OCCURS BETWEEN THE REPORT & DOCUMENTATION, CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING
- THE SET OUT DIMENSIONS REFLECT ARCHITECTURAL INTENT. IF THE DIMENSIONS ARE INCONSISTENT WITH OTHER CONSULTANTS' INPUT, THE CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING

### LEGEND - SITE EASEMENTS

SYMBOL / GRAPHIC	DESCRIPTION
---	IN-GROUND STORMWATER
---	IN-GROUND ELECTRICAL
---	SEWER - RISING MAIN
---	COUNCIL ACCESS EASEMENT
---	PROPOSED SUBSTATION ACCESS EASEMENT

## APPROVAL ISSUE NOT FOR CONSTRUCTION

REV	DATE	DETAILS	ISSUER
1	16.06.2023	SSDA MODIFICATIONS & FRONT ENTRY UPDATE	ZB
2	16.06.2023	SSDA MODIFICATIONS	ZB
3	25.08.2023	SSDA MODIFICATIONS	ZB
4	04.10.2023	SSDA MOD - FRONT ENTRY UPDATE	ZB

### LEGEND - SITE DEMOLITION PLAN

SYMBOL / GRAPHIC	DESCRIPTION
---	PROPERTY BOUNDARY
---	EXTENT OF WORKS
○	EXISTING TREE TO REMAIN
○	EXISTING TREE TO BE REMOVED
□	EXISTING TO REMAIN (OUT OF SCOPE)
▨	EXISTING TO BE DEMOLISHED (AS SEEN WHEN CUT)
▨	EXISTING TO BE DEMOLISHED (AS SEEN IN PROJECTION)

### SITE BUILDINGS LEGEND

LABEL	DESCRIPTION
A	BUILDING A - ADMINISTRATION
B	BUILDING B
C	BUILDING C - SENIOR SCHOOL + LIBRARY
D	BUILDING D - GENERAL LEARNING AREAS
DS	EXISTING DANCE STUDIO
F	BUILDING F - GENERAL LEARNING AREAS
G	BUILDING G - FOOD TECH
H	BUILDING H - HALL + COLA
J	BUILDING J - TAFE
K	BUILDING K
L	BUILDING L
PE	PHYSICAL EDUCATION

CLIENT:

**RICHARD CROOKES  
CONSTRUCTIONS**



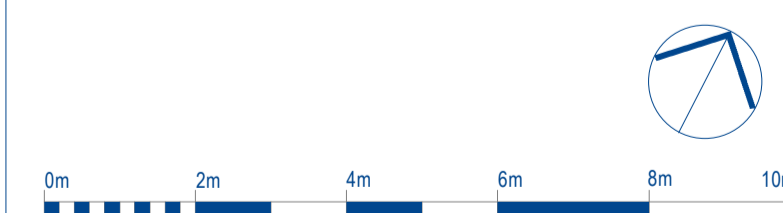
PROJECT:

**KINGSCLIFF HIGH SCHOOL -  
STAGE 2 MAIN WORKS**

33 OXFORD ST, KINGSCLIFF, NSW

DRAWING TITLE:

SSDA - SITE PLAN - EXISTING AND  
DEMOLITION - ROOF

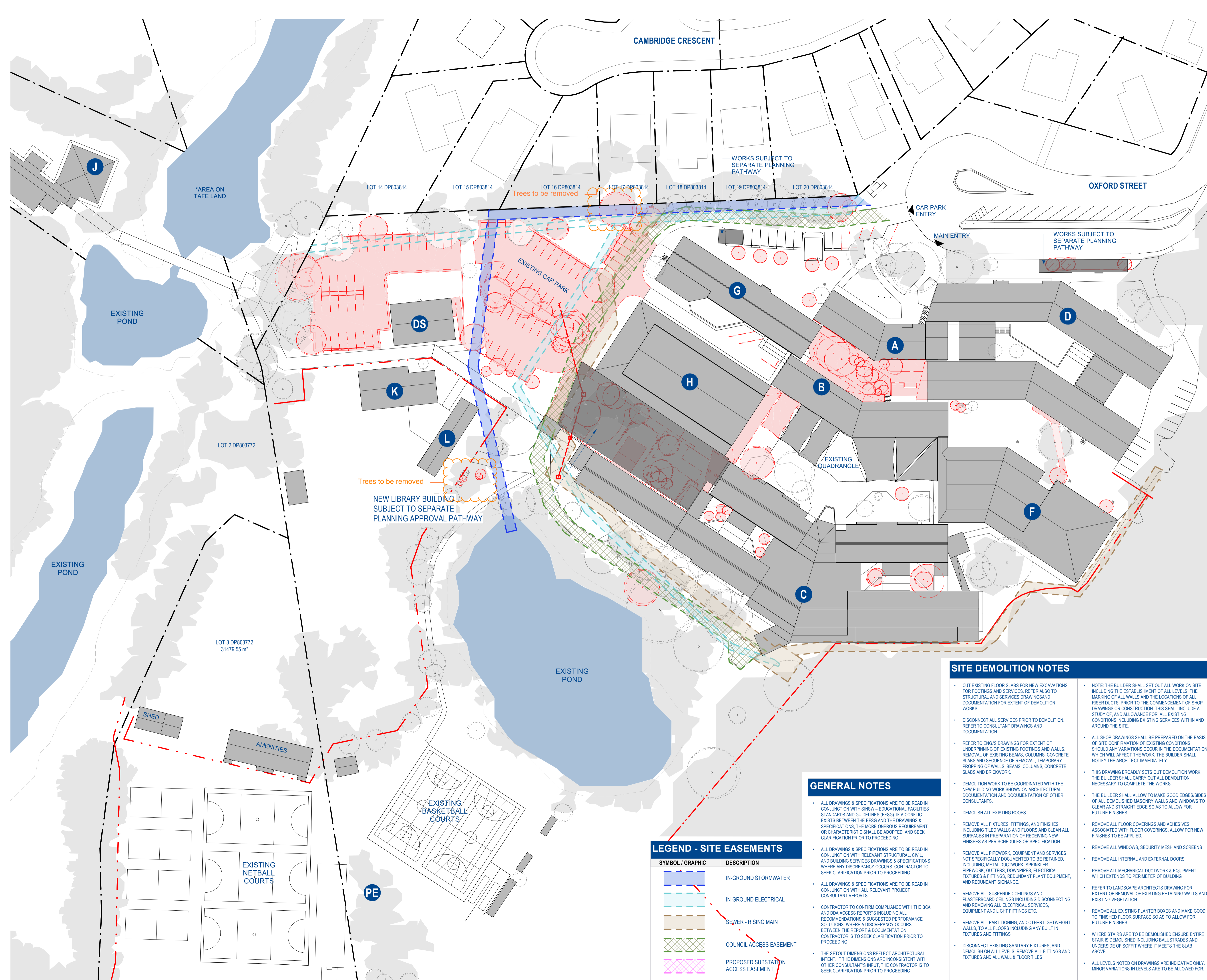


SCALE @ A1: 1 : 500

DRAWN: ZB CHECKED: AB PROJECT No: 1606

DRAWING No: SK-1-0113 REVISION: 4 DATE: 04.10.2023

BRISBANE  
 (07) 3257 9622  
 99 BROOKES STREET  
 FORTITUDE VALLEY  
 4006, QLD



### SITE DEMOLITION NOTES

- CUT EXISTING FLOOR SLABS FOR NEW EXCAVATIONS, FOR FOOTINGS AND SERVICES. REFER ALSO TO STRUCTURAL AND SERVICES DRAWINGS AND DOCUMENTATION FOR EXTENT OF DEMOLITION WORKS.
- DISCONNECT ALL SERVICES PRIOR TO DEMOLITION. REFER TO CONSULTANT DRAWINGS AND DOCUMENTATION.
- REFER TO ENG'S DRAWINGS FOR EXTENT OF UNDERPINNING OF EXISTING FOOTINGS AND WALLS. REMOVAL OF EXISTING BEAMS, COLUMNS, CONCRETE SLABS AND SEQUENCE OF REMOVAL, TEMPORARY PROPPING OF WALLS, BEAMS, COLUMNS, CONCRETE SLABS AND BRICKWORK.
- DEMOLITION WORK TO BE COORDINATED WITH THE NEW BUILDING WORK SHOWN ON ARCHITECTURAL DOCUMENTATION AND DOCUMENTATION OF OTHER CONSULTANTS.
- DEMOLISH ALL EXISTING ROOFS.
- REMOVE ALL FIXTURES, FITTINGS, AND FINISHES INCLUDING TILED WALLS AND FLOORS AND CLEAN ALL SURFACES IN PREPARATION OF RECEIVING NEW FINISHES AS PER SCHEDULES OR SPECIFICATION.
- REMOVE ALL PIPEWORK, EQUIPMENT AND SERVICES NOT SPECIFICALLY DOCUMENTED TO BE RETAINED, INCLUDING: METAL DUCTWORK, SPRINKLER PIPEWORK, CUTTERS, DOWNPIPES, ELECTRICAL FIXTURES & FITTINGS, REDUNDANT PLANT EQUIPMENT, AND REDUNDANT SIGNAGE.
- REMOVE ALL SUSPENDED CEILINGS AND PLASTERBOARD CEILINGS INCLUDING DISCONNECTING AND REMOVING ALL ELECTRICAL SERVICES, EQUIPMENT AND LIGHT FITTINGS ETC.
- REMOVE ALL PARTITIONING, AND OTHER LIGHTWEIGHT WALLS, TO ALL FLOORS INCLUDING ANY BUILT IN FIXTURES AND FITTINGS.
- DISCONNECT EXISTING SANITARY FIXTURES, AND DEMOLISH ON ALL LEVELS. REMOVE ALL FITTINGS AND FIXTURES AND ALL WALL & FLOOR TILES.
- NOTE: THE BUILDER SHALL SET OUT ALL WORK ON SITE, INCLUDING THE ESTABLISHMENT OF ALL LEVELS, THE MARKINGS OF ALL WALLS AND THE LOCATIONS OF ALL RISER DUCTS. PRIOR TO THE COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION, THIS SHALL INCLUDE A STUDY OF, AND ALLOWANCE FOR, ALL EXISTING CONDITIONS INCLUDING EXISTING SERVICES WITHIN AND AROUND THE SITE.
- ALL SHOP DRAWINGS SHALL BE PREPARED ON THE BASIS OF SITE CONFIRMATION OF EXISTING CONDITIONS. SHOULD ANY VARIATIONS OCCUR IN THE DOCUMENTATION WHICH WILL AFFECT THE WORK, THE BUILDER SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- THIS DRAWING BROADLY SETS OUT DEMOLITION WORK. THE BUILDER SHALL CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS.
- THE BUILDER SHALL ALLOW TO MAKE GOOD EDGES/SIDES OF ALL DEMOLISHED MASONRY WALLS AND WINDOWS TO CLEAR AND STRAIGHT EDGE SO AS TO ALLOW FOR FUTURE FINISHES.
- REMOVE ALL FLOOR COVERINGS AND ADHESIVES ASSOCIATED WITH FLOOR SURFACE SO AS TO ALLOW FOR FUTURE FINISHES TO BE APPLIED.
- REMOVE ALL WINDOWS, SECURITY MESH AND SCREENS
- REMOVE ALL INTERNAL AND EXTERNAL DOORS
- REMOVE ALL MECHANICAL DUCTWORK & EQUIPMENT WHICH EXTENDS TO PERIMETER OF BUILDING
- REFER TO LANDSCAPE ARCHITECTS DRAWING FOR EXTENT OF REMOVAL OF EXISTING RETAINING WALLS AND EXISTING VEGETATION.
- REMOVE ALL EXISTING PLANTER BOXES AND MAKE GOOD TO FINISHED FLOOR SURFACE SO AS TO ALLOW FOR FUTURE FINISHES.
- WHERE STAIRS ARE TO BE DEMOLISHED ENSURE ENTIRE STAIR IS DEMOLISHED INCLUDING BALUSTRADES AND UNDERSIDE OF SOFFIT WHERE IT MEETS THE SLAB ABOVE.
- ALL LEVELS NOTED ON DRAWINGS ARE INDICATIVE ONLY. MINOR VARIATIONS IN LEVELS ARE TO BE ALLOWED FOR.

### GENERAL NOTES

- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH NSW - EDUCATIONAL FACILITIES STANDARDS AND GUIDELINES (EFSG). IF A CONFLICT EXISTS BETWEEN THE EFSG AND THE DRAWINGS & SPECIFICATIONS, THE MORE ONEROUS REQUIREMENT OR CHARACTERISTIC SHALL BE ADOPTED, AND SEEK CLARIFICATION PRIOR TO PROCEEDING
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECT CONSULTANT REPORTS
- CONTRACTOR TO CONFIRM COMPLIANCE WITH THE BCA AND DDA ACCESS REPORTS INCLUDING ALL RECOMMENDATIONS & SUGGESTED PERFORMANCE SOLUTIONS, WHERE A DISCREPANCY OCCURS BETWEEN THE REPORT & DOCUMENTATION, CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING
- THE SETOUT DIMENSIONS REFLECT ARCHITECTURAL INTENT. IF THE DIMENSIONS ARE INCONSISTENT WITH OTHER CONSULTANTS INPUT, THE CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING

### LEGEND - SITE EASEMENTS

SYMBOL / GRAPHIC	DESCRIPTION
---	IN-GROUND STORMWATER
---	IN-GROUND ELECTRICAL
---	SEWER - RISING MAIN
---	COUNCIL ACCESS EASEMENT
---	PROPOSED SUBSTATION ACCESS EASEMENT

© COPYRIGHT  
 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD (ACN 109 225 149) (A BICKERTON MASTERS AND BM HEDE PTY LTD (ACN 631 149 996) (A HEDE ARCHITECTS) AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE AFORESAID LEGAL ENTITIES.

BICKERTON MASTERS AND HEDE ARCHITECTS ACCEPT NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE. IF THIS IS A COLOURED DRAWING AND IS PRINTED IN BLACK & WHITE NOT ALL INFORMATION MAY BE LEGIBLE.

NSW NOMINATED ARCHITECT: ANDREW MASTERS (9037)

## APPROVAL ISSUE NOT FOR CONSTRUCTION

REV	DATE	DETAILS	ISSUER
1	16.06.2023	SSDA MODIFICATIONS & FRONT ENTRY UPDATE	ZB
2	16.06.2023	SSDA MODIFICATIONS	ZB
3	25.08.2023	SSDA MODIFICATIONS	ZB
4	04.10.2023	SSDA MOD - FRONT ENTRY UPDATE	ZB

### LEGEND - SITE PLAN

SYMBOL / GRAPHIC	DESCRIPTION
	PROPERTY BOUNDARY
	EXTENT OF WORKS
	EXISTING TREE TO REMAIN
	NEW TREE - INDICATIVE ONLY
	EXISTING TO REMAIN (OUT OF SCOPE)
	REFURBISHED AREA
	NEW CONSTRUCTION
	MINOR ALTERATIONS

### SITE BUILDINGS LEGEND

LABEL	DESCRIPTION
A	BUILDING A - ADMINISTRATION
B	BUILDING B
C	BUILDING C - SENIOR SCHOOL + LIBRARY
D	BUILDING D - GENERAL LEARNING AREAS
DS	EXISTING DANCE STUDIO
F	BUILDING F - GENERAL LEARNING AREAS
G	BUILDING G - FOOD TECH
H	BUILDING H - HALL + COLA
J	BUILDING J - TAFE
K	BUILDING K
L	BUILDING L
O	BUILDING O - PERFORMING ARTS
P	PUMP HOUSE
PE	PHYSICAL EDUCATION

CLIENT:

## RICHARD CROOKES CONSTRUCTIONS



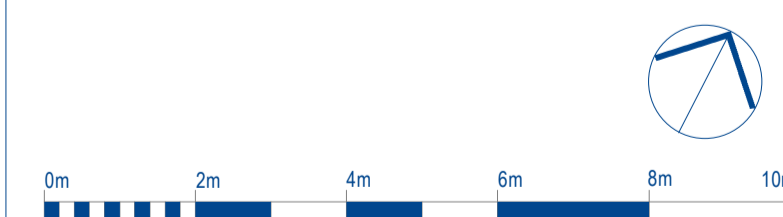
PROJECT:

### KINGSCLIFF HIGH SCHOOL - STAGE 2 MAIN WORKS

33 OXFORD ST, KINGSCLIFF, NSW

DRAWING TITLE:

SSDA - SITE PLAN - PROPOSED - GROUND

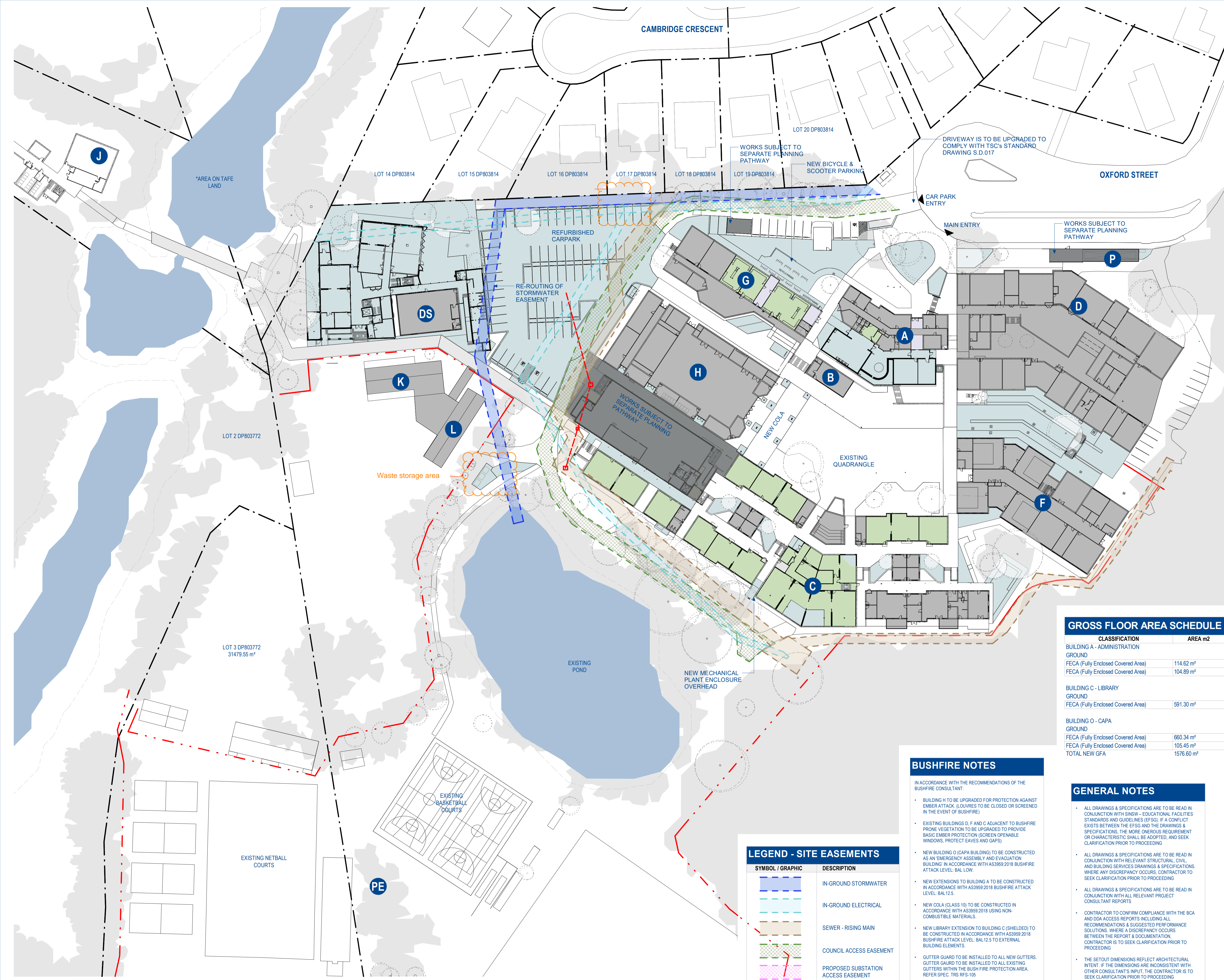


SCALE @ A1: 1 : 500

DRAWN: ZB CHECKED: AB PROJECT No: 1606

DRAWING No: SK-1-0114 REVISION: 4 DATE: 04.10.2023

BRISBANE  
 (07) 3257 9622  
 99 BROOKES STREET  
 FORTITUDE VALLEY  
 4006, QLD  
 www.bickertonmasters.com.au



### GROSS FLOOR AREA SCHEDULE

CLASSIFICATION	AREA m2
BUILDING A - ADMINISTRATION	
GROUND	
FECA (Fully Enclosed Covered Area)	114.62 m²
FECA (Fully Enclosed Covered Area)	104.89 m²
BUILDING C - LIBRARY	
GROUND	
FECA (Fully Enclosed Covered Area)	591.30 m²
BUILDING O - CAPA	
GROUND	
FECA (Fully Enclosed Covered Area)	660.34 m²
FECA (Fully Enclosed Covered Area)	105.45 m²
TOTAL NEW GFA	1576.60 m²

### BUSHFIRE NOTES

- IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE BUSHFIRE CONSULTANT:
- BUILDING H TO BE UPGRADED FOR PROTECTION AGAINST EMBER ATTACK. (LOUVRES TO BE CLOSED OR SCREENED IN THE EVENT OF BUSHFIRE)
  - EXISTING BUILDINGS D, F AND G ADJACENT TO BUSHFIRE PRONE VEGETATION TO BE UPGRADED TO PROVIDE BASIC EMBER PROTECTION (SCREEN OPENABLE WINDOWS, PROTECT EAVES AND GAPS)
  - NEW BUILDING O (CAPA BUILDING) TO BE CONSTRUCTED AS AN EMERGENCY ASSEMBLY AND EVACUATION BUILDING IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL LOW.
  - NEW EXTENSIONS TO BUILDING A TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL 12.5.
  - NEW COLA (CLASS 10) TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 USING NON-COMBUSTIBLE MATERIALS.
  - NEW LIBRARY EXTENSION TO BUILDING C (SHIELDED) TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL 12.5 TO EXTERNAL BUILDING ELEMENTS.
  - GUTTER GUARD TO BE INSTALLED TO ALL NEW GUTTERS. GUTTER GUARD TO BE INSTALLED TO ALL EXISTING GUTTERS WITHIN THE BUSH FIRE PROTECTION AREA. REFER SPEC. TRS RFS-105

### GENERAL NOTES

- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH NSW - EDUCATIONAL FACILITIES STANDARDS AND GUIDELINES (EFGS). IF A CONFLICT EXISTS BETWEEN THE EFGS AND THE DRAWINGS & SPECIFICATIONS, THE MORE ONEROUS REQUIREMENT OR CHARACTERISTIC SHALL BE ADOPTED, AND SEEK CLARIFICATION PRIOR TO PROCEEDING
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECT CONSULTANT REPORTS
- CONTRACTOR TO CONFIRM COMPLIANCE WITH THE BCA AND DDA ACCESS REPORTS INCLUDING ALL RECOMMENDATIONS & SUGGESTED PERFORMANCE SOLUTIONS. WHERE A DISCREPANCY OCCURS BETWEEN THE REPORT & DOCUMENTATION, CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING
- THE SETOUT DIMENSIONS REFLECT ARCHITECTURAL INTENT. IF THE DIMENSIONS ARE INCONSISTENT WITH OTHER CONSULTANT'S INPUT, THE CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING

### LEGEND - SITE EASEMENTS

SYMBOL / GRAPHIC	DESCRIPTION
	IN-GROUND STORMWATER
	IN-GROUND ELECTRICAL
	SEWER - RISING MAIN
	COUNCIL ACCESS EASEMENT
	PROPOSED SUBSTATION ACCESS EASEMENT

## APPROVAL ISSUE NOT FOR CONSTRUCTION

REV	DATE	DETAILS	ISSUER
1	16.06.2023	SSDA MODIFICATIONS & FRONT ENTRY UPDATE	ZB
2	16.06.2023	SSDA MODIFICATIONS	ZB
3	25.08.2023	SSDA MODIFICATIONS	ZB
4	04.10.2023	SSDA MOD - FRONT ENTRY UPDATE	ZB

### LEGEND - SITE PLAN

SYMBOL / GRAPHIC	DESCRIPTION
---	PROPERTY BOUNDARY
---	EXTENT OF WORKS
○	EXISTING TREE TO REMAIN
●	NEW TREE - INDICATIVE ONLY
---	EXISTING TO REMAIN (OUT OF SCOPE)
---	REFURBISHED AREA
---	NEW CONSTRUCTION
---	MINOR ALTERATIONS

### SITE BUILDINGS LEGEND

LABEL	DESCRIPTION
A	BUILDING A - ADMINISTRATION
B	BUILDING B
C	BUILDING C - SENIOR SCHOOL + LIBRARY
D	BUILDING D - GENERAL LEARNING AREAS
DS	EXISTING DANCE STUDIO
F	BUILDING F - GENERAL LEARNING AREAS
G	BUILDING G - FOOD TECH
H	BUILDING H - HALL + COLA
J	BUILDING J - TAFE
K	BUILDING K
L	BUILDING L
O	BUILDING O - PERFORMING ARTS
P	PUMP HOUSE
PE	PHYSICAL EDUCATION

CLIENT:

## RICHARD CROOKES CONSTRUCTIONS



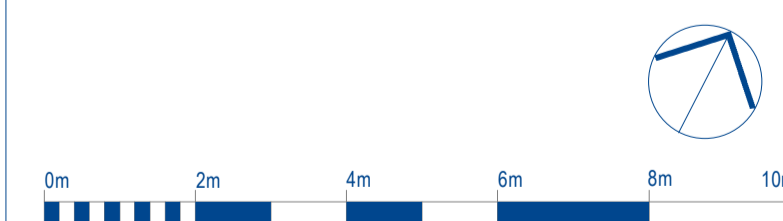
PROJECT:

### KINGSCLIFF HIGH SCHOOL - STAGE 2 MAIN WORKS

33 OXFORD ST, KINGSCLIFF, NSW

DRAWING TITLE:

SSDA - SITE PLAN - PROPOSED - LEVEL 1

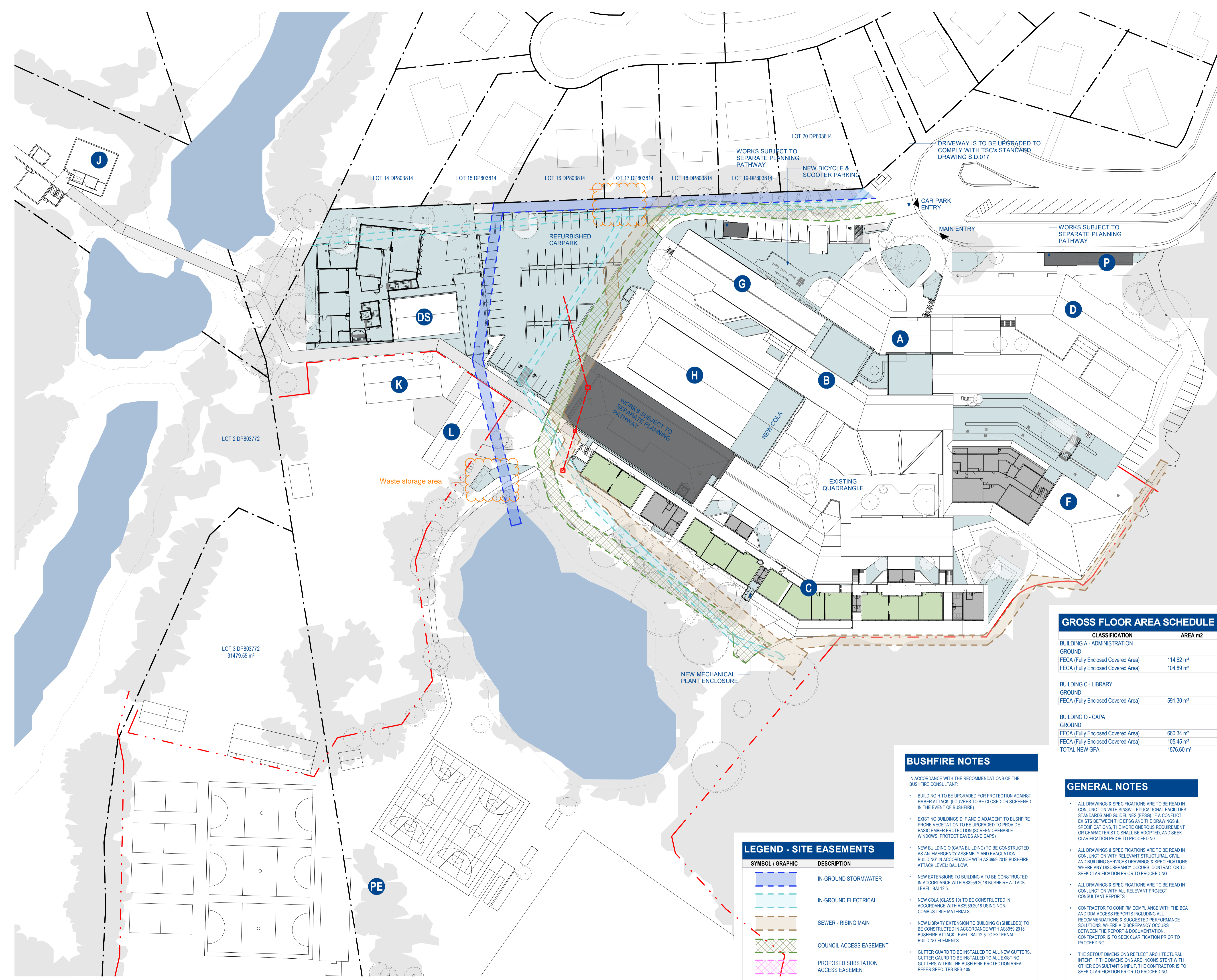


SCALE @ A1: 1 : 500

DRAWN: CHECKED: PROJECT NO:  
1606

DRAWING NO: REVISION: DATE:  
SK-1-0115 4 04.10.2023

BRISBANE  
(07) 3257 9622  
99 BROOKES STREET  
FORTITUDE VALLEY  
4006, QLD  
www.bickertonmasters.com.au



### GROSS FLOOR AREA SCHEDULE

CLASSIFICATION	AREA m2
BUILDING A - ADMINISTRATION	
GROUND	
FECA (Fully Enclosed Covered Area)	114.62 m <sup>2</sup>
FECA (Fully Enclosed Covered Area)	104.89 m <sup>2</sup>
BUILDING C - LIBRARY	
GROUND	
FECA (Fully Enclosed Covered Area)	591.30 m <sup>2</sup>
BUILDING O - CAPA	
GROUND	
FECA (Fully Enclosed Covered Area)	660.34 m <sup>2</sup>
FECA (Fully Enclosed Covered Area)	105.45 m <sup>2</sup>
TOTAL NEW GFA	1576.60 m <sup>2</sup>

### BUSHFIRE NOTES

- IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE BUSHFIRE CONSULTANT:
- BUILDING H TO BE UPGRADED FOR PROTECTION AGAINST EMBER ATTACK. (LOUVRES TO BE CLOSED OR SCREENED IN THE EVENT OF BUSHFIRE)
  - EXISTING BUILDINGS D, F AND G ADJACENT TO BUSHFIRE PRONE VEGETATION TO BE UPGRADED TO PROVIDE BASIC EMBER PROTECTION (SCREEN OPENABLE WINDOWS, PROTECT EAVES AND GAPS)
  - NEW BUILDING O (CAPA BUILDING) TO BE CONSTRUCTED AS AN 'EMERGENCY ASSEMBLY AND EVACUATION BUILDING' IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL LOW.
  - NEW EXTENSIONS TO BUILDING A TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL 12.5.
  - NEW COLA (CLASS 10) TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 USING NON-COMBUSTIBLE MATERIALS.
  - NEW LIBRARY EXTENSION TO BUILDING C (SHIELDED) TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL 12.5 TO EXTERNAL BUILDING ELEMENTS.
  - GUTTER GUARD TO BE INSTALLED TO ALL NEW GUTTERS. GUTTER GUARD TO BE INSTALLED TO ALL EXISTING GUTTERS WITHIN THE BUSH FIRE PROTECTION AREA. REFER SPEC. TRS RFS-105

### GENERAL NOTES

- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH NSW - EDUCATIONAL FACILITIES STANDARDS AND GUIDELINES (EFGS). IF A CONFLICT EXISTS BETWEEN THE EFGS AND THE DRAWINGS & SPECIFICATIONS, THE MORE ONEROUS REQUIREMENT OR CHARACTERISTIC SHALL BE ADOPTED, AND SEEK CLARIFICATION PRIOR TO PROCEEDING
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECT CONSULTANT REPORTS
- CONTRACTOR TO CONFIRM COMPLIANCE WITH THE BCA AND DDA ACCESS REPORTS INCLUDING ALL RECOMMENDATIONS & SUGGESTED PERFORMANCE SOLUTIONS, WHERE A DISCREPANCY OCCURS BETWEEN THE REPORT & DOCUMENTATION, CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING
- THE SETOUT DIMENSIONS REFLECT ARCHITECTURAL INTENT. IF THE DIMENSIONS ARE INCONSISTENT WITH OTHER CONSULTANT'S INPUT, THE CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING

### LEGEND - SITE EASEMENTS

SYMBOL / GRAPHIC	DESCRIPTION
---	IN-GROUND STORMWATER
---	IN-GROUND ELECTRICAL
---	SEWER - RISING MAIN
---	COUNCIL ACCESS EASEMENT
---	PROPOSED SUBSTATION ACCESS EASEMENT

## APPROVAL ISSUE NOT FOR CONSTRUCTION

REV	DATE	DETAILS	ISSUER
1	16.06.2023	SSDA MODIFICATIONS & FRONT ENTRY UPDATE	ZB
2	16.06.2023	SSDA MODIFICATIONS	ZB
3	25.08.2023	SSDA MODIFICATIONS	ZB
4	04.10.2023	SSDA MOD - FRONT ENTRY UPDATE	ZB

### LEGEND - SITE PLAN

SYMBOL / GRAPHIC	DESCRIPTION
	PROPERTY BOUNDARY
	EXTENT OF WORKS
	EXISTING TREE TO REMAIN
	NEW TREE - INDICATIVE ONLY
	EXISTING TO REMAIN (OUT OF SCOPE)
	REFURBISHED AREA
	NEW CONSTRUCTION
	MINOR ALTERATIONS

### SITE BUILDINGS LEGEND

LABEL	DESCRIPTION
A	BUILDING A - ADMINISTRATION
B	BUILDING B
C	BUILDING C - SENIOR SCHOOL + LIBRARY
D	BUILDING D - GENERAL LEARNING AREAS
DS	EXISTING DANCE STUDIO
F	BUILDING F - GENERAL LEARNING AREAS
G	BUILDING G - FOOD TECH
H	BUILDING H - HALL + COLA
J	BUILDING J - TAFE
K	BUILDING K
L	BUILDING L
O	BUILDING O - PERFORMING ARTS
P	PUMP HOUSE
PE	PHYSICAL EDUCATION

CLIENT:

## RICHARD CROOKES CONSTRUCTIONS

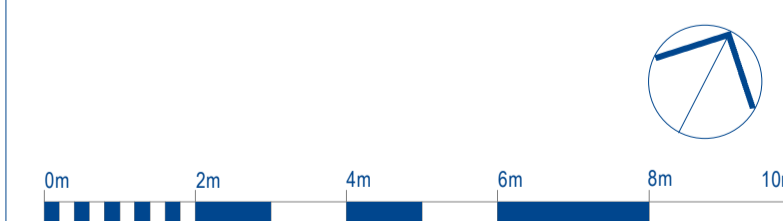


PROJECT:  
KINGSCLIFF HIGH SCHOOL -  
STAGE 2 MAIN WORKS

33 OXFORD ST, KINGSCLIFF, NSW

DRAWING TITLE:

SSDA - SITE PLAN - PROPOSED - ROOF

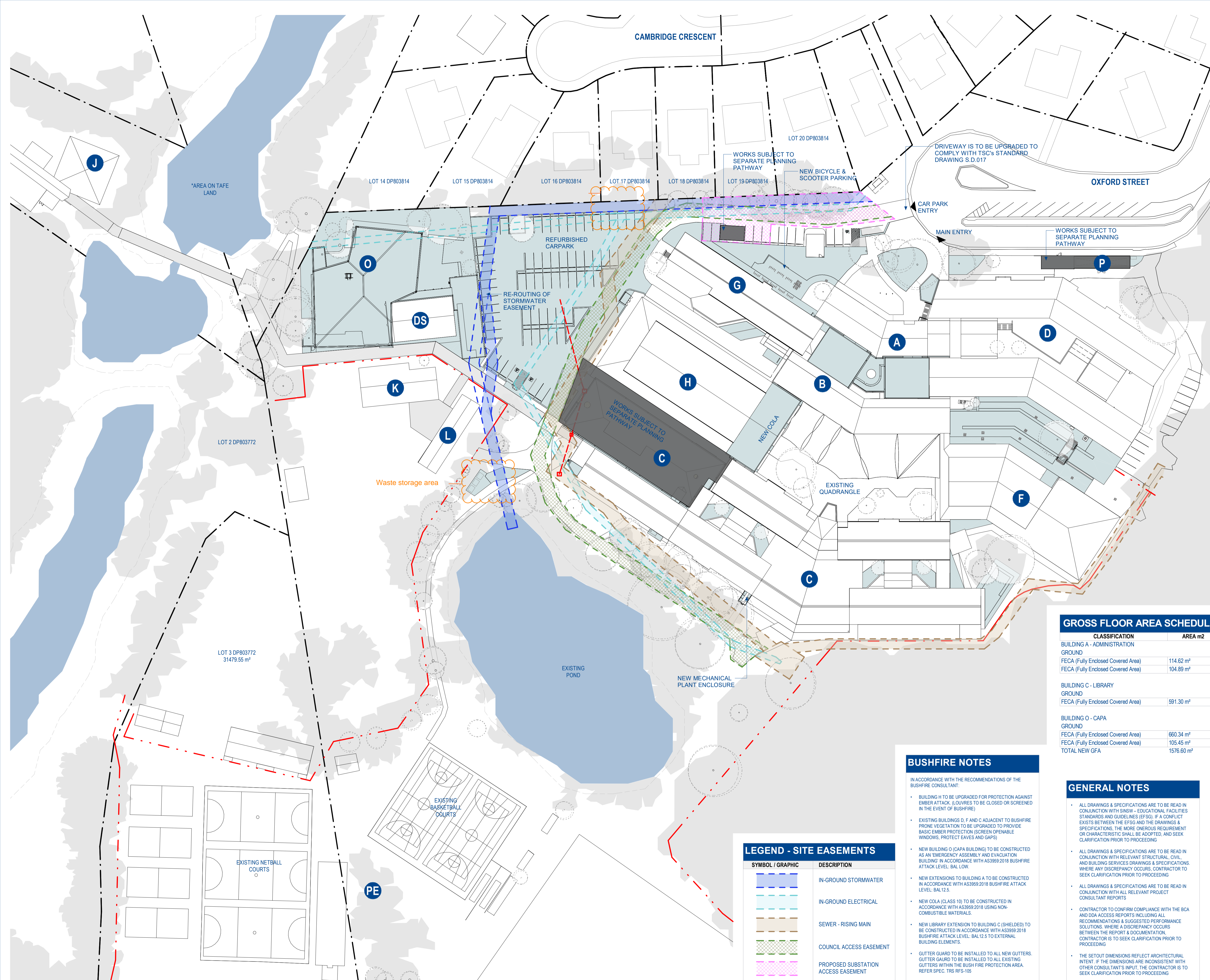


SCALE @ A1: 1 : 500

DRAWN: CHECKED: PROJECT NO:  
1606

DRAWING NO: REVISION: DATE:  
SK-1-0116 4 04.10.2023

BRISBANE  
(07) 3257 9622  
99 BROOKES STREET  
FORTITUDE VALLEY  
4006, QLD  
www.bickertonmasters.com.au



### GROSS FLOOR AREA SCHEDULE

CLASSIFICATION	AREA m2
BUILDING A - ADMINISTRATION GROUND	
FECA (Fully Enclosed Covered Area)	114.62 m <sup>2</sup>
FECA (Fully Enclosed Covered Area)	104.89 m <sup>2</sup>
BUILDING C - LIBRARY GROUND	
FECA (Fully Enclosed Covered Area)	591.30 m <sup>2</sup>
BUILDING O - CAPA GROUND	
FECA (Fully Enclosed Covered Area)	660.34 m <sup>2</sup>
FECA (Fully Enclosed Covered Area)	105.45 m <sup>2</sup>
TOTAL NEW GFA	1576.60 m <sup>2</sup>

### BUSHFIRE NOTES

- IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE BUSHFIRE CONSULTANT:
- BUILDING H TO BE UPGRADED FOR PROTECTION AGAINST EMBER ATTACK. DOORWAYS TO BE CLOSED OR SCREENED IN THE EVENT OF BUSHFIRE.
  - EXISTING BUILDINGS D, F AND G ADJACENT TO BUSHFIRE PRONE VEGETATION TO BE UPGRADED TO PROVIDE BASIC EMBER PROTECTION (SCREEN OPENABLE WINDOWS, PROTECT EAVES AND GAPS).
  - NEW BUILDING O (CAPA BUILDING) TO BE CONSTRUCTED AS AN 'EMERGENCY ASSEMBLY AND EVACUATION BUILDING' IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL LOW.
  - NEW EXTENSIONS TO BUILDING A TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL 12.5.
  - NEW COLA (CLASS 10) TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 USING NON-COMBUSTIBLE MATERIALS.
  - NEW LIBRARY EXTENSION TO BUILDING C (SHIELDED) TO BE CONSTRUCTED IN ACCORDANCE WITH AS3959:2018 BUSHFIRE ATTACK LEVEL: BAL 12.5 TO EXTERNAL BUILDING ELEMENTS.
  - GUTTER GUARD TO BE INSTALLED TO ALL NEW GUTTERS. GUTTER GUARD TO BE INSTALLED TO ALL EXISTING GUTTERS WITHIN THE BUSH FIRE PROTECTION AREA. REFER SPEC. TRS RFS-105.

### LEGEND - SITE EASEMENTS

SYMBOL / GRAPHIC	DESCRIPTION
	IN-GROUND STORMWATER
	IN-GROUND ELECTRICAL
	SEWER - RISING MAIN
	COUNCIL ACCESS EASEMENT
	PROPOSED SUBSTATION ACCESS EASEMENT

### GENERAL NOTES

- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH NSW - EDUCATIONAL FACILITIES STANDARDS AND GUIDELINES (EFGS). IF A CONFLICT EXISTS BETWEEN THE EFGS AND THE DRAWINGS & SPECIFICATIONS, THE MORE ONEROUS REQUIREMENT OR CHARACTERISTIC SHALL BE ADOPTED, AND SEEK CLARIFICATION PRIOR TO PROCEEDING.
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL, CIVIL AND BUILDING SERVICES DRAWINGS & SPECIFICATIONS. WHERE ANY DISCREPANCY OCCURS, CONTRACTOR TO SEEK CLARIFICATION PRIOR TO PROCEEDING.
- ALL DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT PROJECT CONSULTANT REPORTS.
- CONTRACTOR TO CONFIRM COMPLIANCE WITH THE BCA AND DDA ACCESS REPORTS INCLUDING ALL RECOMMENDATIONS & SUGGESTED PERFORMANCE SOLUTIONS. WHERE A DISCREPANCY OCCURS BETWEEN THE REPORT & DOCUMENTATION, CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING.
- THE SETOUT DIMENSIONS REFLECT ARCHITECTURAL INTENT. IF THE DIMENSIONS ARE INCONSISTENT WITH OTHER CONSULTANT'S INPUT, THE CONTRACTOR IS TO SEEK CLARIFICATION PRIOR TO PROCEEDING.