

Modification Report

MOD 2 Section 4.55(2) to modify
consent SSD-15788005

163 Barry Way, Jindabyne

PREPARED FOR NSW DEPARTMENT OF EDUCATION



August 2024
MECONE.COM.AU

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*This document is for discussion purposes only unless signed and dated by the persons identified.

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1 Introduction

This Modification Report has been prepared by Mecone Group Pty Limited on behalf of the NSW Department of Education (DoE) (the applicant) to support a modification application for changes to the approved primary school and high school at 163 Barry Way, Jindabyne (formerly known as 207 Barry Way) (SSD-15788005). The project boundary is also proposed to be expanded into a very small area of 207 Barry Way (Lot 2 DP1294413) to provide vehicular access connection to the TAFE Campus.

The application is made under section 4.55(2) of the *Environmental Planning and Assessment Act 1979* (EPA Act).

The proposed changes are generally described as follows:

- Replacement of boom gates with swing gates for smoother traffic management and to improve the security of the kiss and drop function.
- Provision of vehicular access to the TAFE Campus from the school site to facilitate drop off of materials to wood and metalwork classrooms. This requires inclusion of a small part of 207 Barry Way (TAFE site), within the project area. TAFE NSW has provided consent for contractors conducting these works on the TAFE NSW Jindabyne Connected Learning Centre.
- Enhancements to the agricultural plot including a new glasshouse and main shed expansion.
- Relocation of one wayfinding sign to the west of Block A.
- Redesign of the shared plaza amphitheatre and other open space amendments.
- Revised landscaping design to ensure avoidance of works within nominated “Biodiversity Exclusion Zones” per the Biodiversity Management Plan prepared by WSP dated May 2023.
- Various minor design amendments including to rainwater tanks, fencing, on-site stormwater detention, solar panels, sheds, ag plot layout, and other minor internal and external amendments.
- Relocation of the pump house as a result of detailed hydraulic design.
- The addition of a pedestrian pathway connecting the Jindabyne Education Campus to Barry Way to facilitate active transportation opportunities for students and staff.
- Amendment of SSD-15788005 condition of consent B20 relating to Aboriginal artefact Jindabyne Campus AFT 2.
- Removal of SSD-15788005 condition of consent B39 relating to the proposed pylon sign.
- Amendment of SSD-15788005 condition of consent C28 to align with Aboriginal Cultural Heritage consultation requirements recommended by NGH.

This report has been prepared with consideration of the NSW Department of Planning and Environment’s (DPE’s) *State significant development guidelines – preparing a modification report* (November 2021) and includes the following information:

- relevant background and reasons for the changes;
- description of the changes;
- brief discussion of strategic context;
- discussion of statutory context;
- assessment of impacts; and
- identification of any required mitigation measures.

1.1 Approved project

Original approval

On 10 August 2022 the Minister for Planning and Public Spaces granted consent to SSD-15788005 for construction and operation of a new educational establishment consisting of a primary and high school at 163 Barry Way, Jindabyne. The approved works include the construction of school buildings ranging from one to two storeys, general and special support learning area, staff rooms and administration office, hall, library, out of school hours care facility, landscaping works and open space improvements, parking, pick-up and set down zones, bus zones and loading areas, associated works e and on-site infrastructure and utilities.

MOD 1

On 3 May 2023, the Planning Secretary, as delegate of the Minister for Planning and Public Spaces, granted consent to MOD 1 under section 4.55(2) of the EP&A Act for for architectural and landscape design changes including a new single storey block G3, minor modifications to approved buildings' roof forms and floor levels, the development of the agricultural plot including new agriculturally based structures and facilities, landscaping, and changes to the approved bus bays, car parking, and drop-off/pick-up arrangements.

The approved site plan under MOD 1 is shown in **Figure 1**.

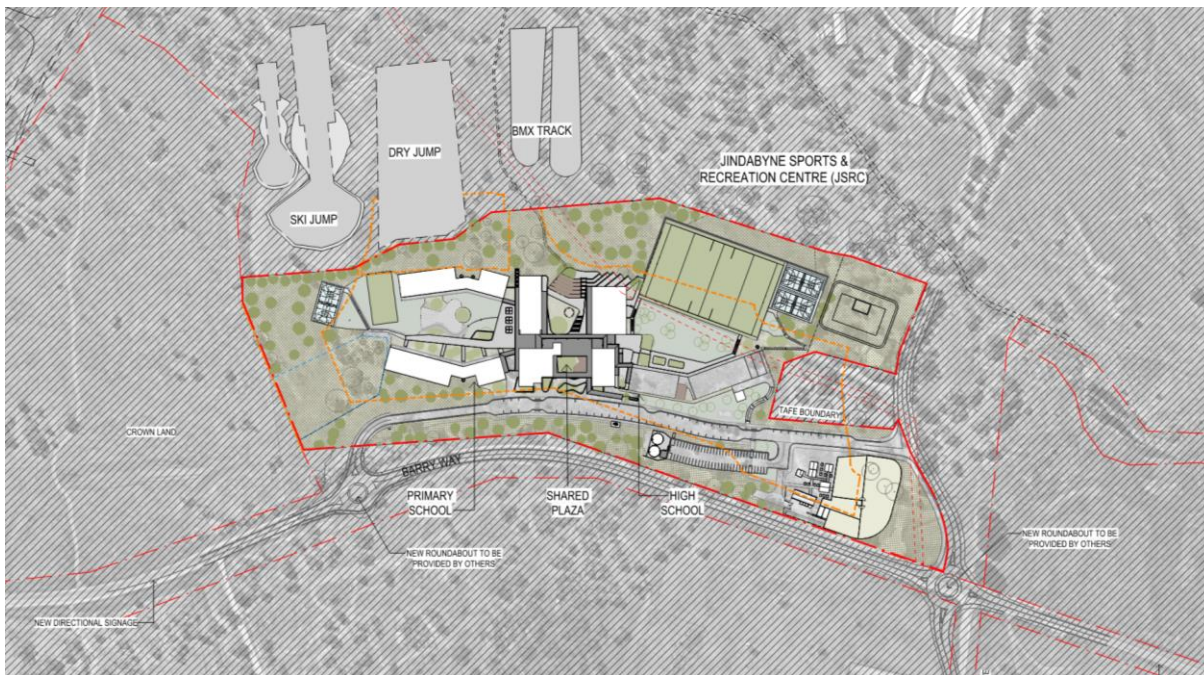


FIGURE 1: APPROVED SCHOOL SITE PLAN - SSD-15788005

Source: Pedavoli Architects

1.2 Reasons for modification

The proposed changes are the result of design development and input from key stakeholders. During the preparation of detailed design documentation, the project team has identified changes that can be made to improve school operations in conjunction with the coordination of technical disciplines.

The approved design includes both subsurface and above-ground rainwater tanks with a total of 100kL rainwater storage, however, the proposed design results in rainwater tanks being entirely above-ground for ease of maintenance access and provides for a total of 109.5kL of rainwater storage. The volume of the OSD basins remains as per the existing design.

Changes to the solar panel design are proposed to improve ease of maintenance by consolidating the panels onto one roof while not impacting the required output. Amendments to the landscaping design

are proposed to avoid disturbance to the “Biodiversity Exclusion Zones” per the Biodiversity Management Plan prepared by WSP dated May 2023. The proposed pedestrian pathway connecting the Jindabyne Education Campus to Barry Way is proposed to facilitate pedestrian and cyclist access and connect with works proposed under separate planning pathways including upgrades to Barry Way. Various other minor changes have been prompted through design development with regard to the finalisation of services design (e.g. mechanical plant decks, pump house, and booster assembly), stakeholder engagement (e.g. changes to the ag-plot), and coordination of architectural, landscaping, and civil plans. An amendment to condition B20(b) is proposed which seeks to remove the requirement for the perpetual protection of the artefact known as “Jindabyne Campus AFT 2.” The rationale for this amendment is that this particular artefact is not located within the project boundaries, and the artefact has been destroyed by the construction of the adjoining TAFE campus. As such, the requirement for perpetual protection of an off-site artefact as identified in condition B20(b) is no longer valid or enforceable. The accompanying letter provided by NGH Pty Ltd provides a detailed justification for the removal of condition B20(b) (**Appendix 6**).

Additionally, Condition B39 specifies that the Applicant must consult with Council about the location of and approval pathway for the future pylon signage previously intended to be located in the road reserve. This condition is proposed to be removed to allow for the future relocation of the pylon sign to the southwestern portion of the site and to allow for its approval under a future modification application.

Amendments to the path adjacent to Block G have been proposed to allow for more efficient operations by enabling delivery of materials directly to wood and metalwork classrooms. Furthermore, several other minor design refinements have been made throughout the development as a result of detailed design. These design refinements will improve the operation and delivery of the development.

Furthermore, the proposed amendments to the approved development require modification. The only available pathway for this is an application made under section 4.55 of the EP&A Act. There is no viable alternative from a planning legislation perspective.

2 Description of modification

2.1 Proposed changes

The proposed amendments to SSD-15788005 are described as follows:

- Replacement of boom gates with swing gates for smoother traffic management and to improve the security of the kiss and drop function.
- Provision of vehicular access to the TAFE Campus from the school site to facilitate drop off of materials to wood and metalwork classrooms. This requires inclusion of a small part of 207 Barry Way (TAFE site), within the project area. TAFE NSW has provided consent for contractors conducting these works on the TAFE NSW Jindabyne Connected Learning Centre
- Enhancements to the agricultural plot including a new glasshouse and main shed expansion.
- Relocation of one wayfinding sign to the west of Block A.
- Redesign of the shared plaza amphitheatre and other open space amendments.
- Revised landscaping design to ensure avoidance of works within nominated “Biodiversity Exclusion Zones” per the Biodiversity Management Plan prepared by WSP dated May 2023.
- Various minor design amendments including to rainwater tanks, fencing, on-site stormwater detention, solar panels, sheds, ag plot layout, and other minor internal and external amendments.
- Relocation of the pump house as a result of detailed hydraulic design.
- The addition of a pedestrian pathway connecting the Jindabyne Education Campus to Barry Way to facilitate active transportation opportunities for students and staff.

- Amendment of SSD-15788005 condition of consent B20 relating to Aboriginal artefact Jindabyne Campus AFT 2.
- Removal of SSD-15788005 condition of consent B39 relating to signage.
- Amendment of SSD-15788005 condition of consent C28 to align with Aboriginal Cultural Heritage consultation requirements recommended by NGH.

Detailed discussion of the proposed change is provided in the following sub-sections.

2.1.1 Signage

Amendments and additions have been made to the signage proposed on site as follows.

- The wayfinding sign is proposed to be repositioned for better visibility at the western frontage of Block A.

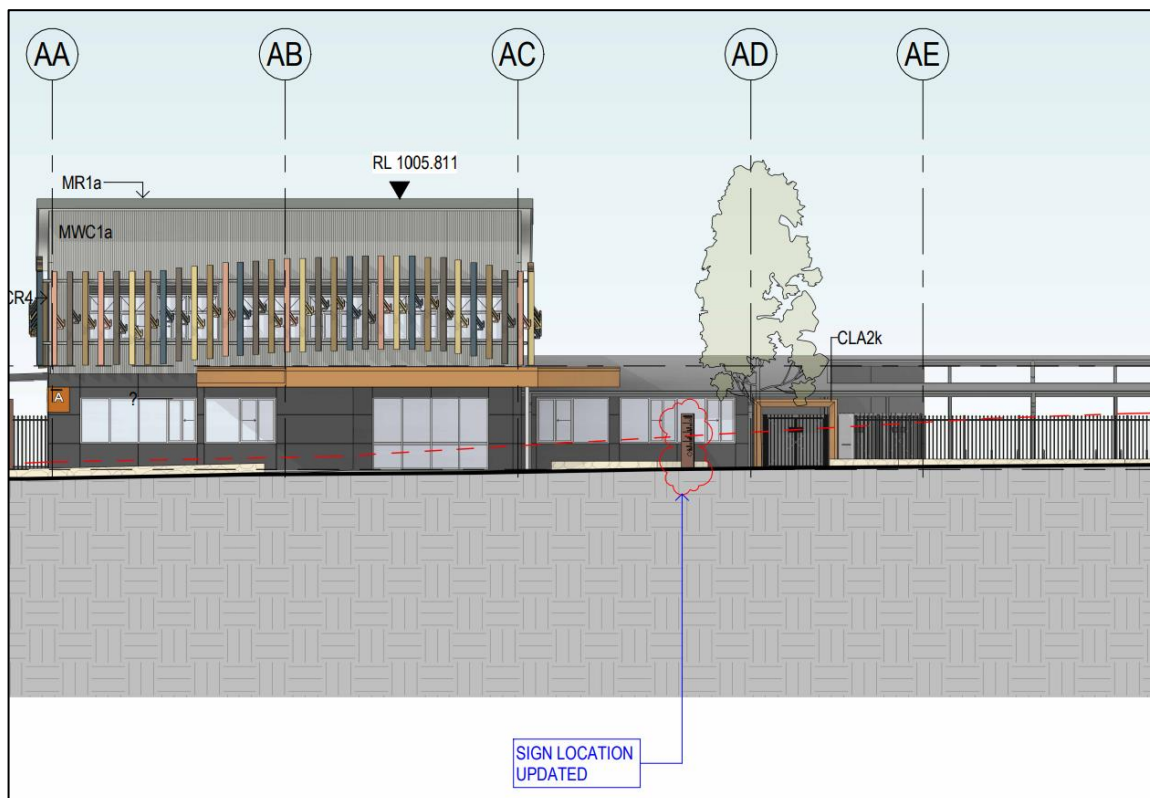


FIGURE 2: PROPOSED SIGNAGE ON THE WESTERN FRONTAGE OF BLOCK A

Source: Pedavoli Architects

2.1.2 Vehicle and Pedestrian Access

Updates to the internal access from Barry Way is as follows.

- **Northern Driveway Access:** The approved boom gates are proposed to be replaced with swing gates to facilitate smoother entry and exit onto Barry Way, increase functionality of the kiss and drop function, and enhance access control.
- **Southern Driveway Access:** Similarly, swing gates have replaced boom gates, enhancing the functionality and access control of the driveway.
- **Pedestrian Pathway:** The addition of a pedestrian pathway connecting the Jindabyne Education Campus to Barry Way to facilitate active transportation opportunities for students and staff.

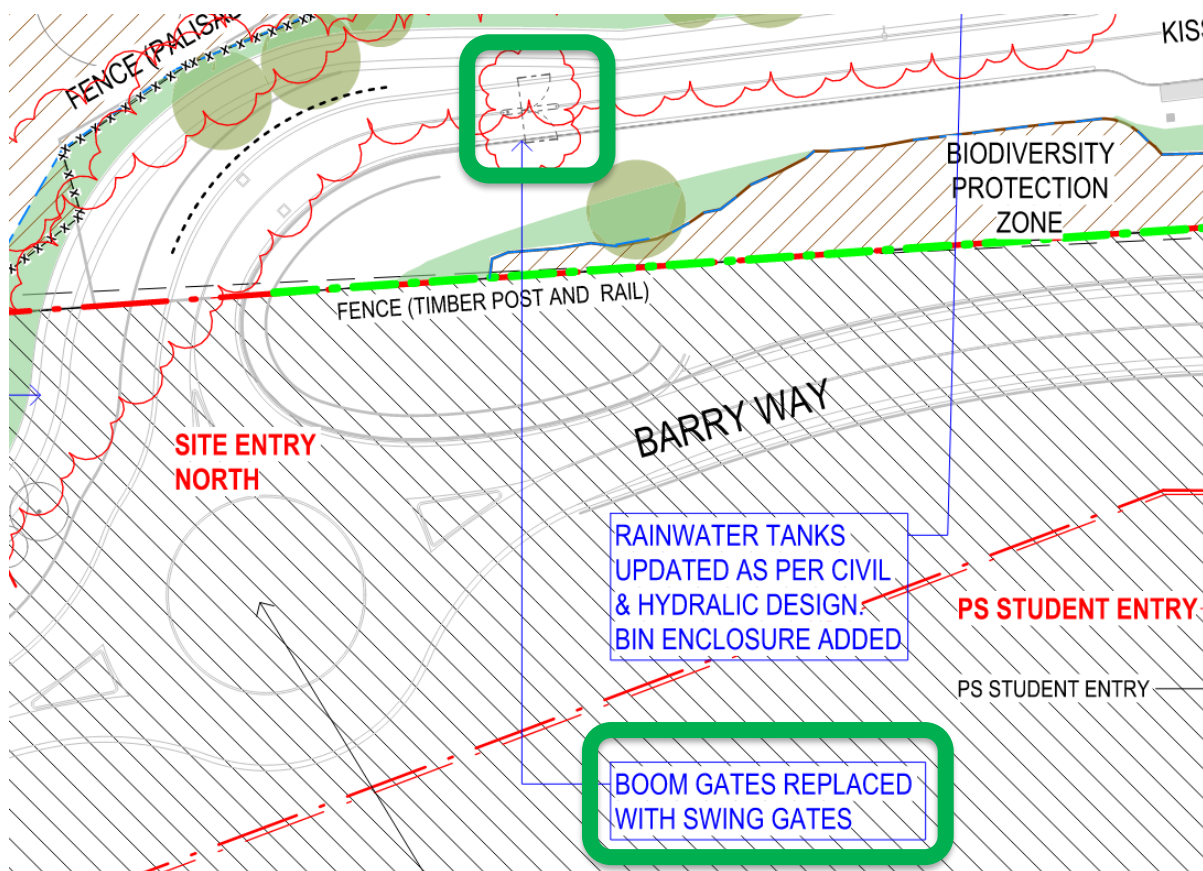


FIGURE 3: SITE ENTRY NORTH

Source: Pedavoli Architects

2.1.4 Agriculture Plot

To improve the use of the agriculture plot, a number of amendments have been proposed and executed as detailed below:

- The large and covered pens have been redesigned for functionality.
- Modifications to the fencing and gates are proposed to ensure better movement between the various paddocks: Small Paddock 1, Small Paddock 2, Large Paddock 1, and Large Paddock 2.
- A new glasshouse and amended pedestrian path are proposed, providing a suitable environment for plant cultivation and education.
- The Agriculture Plot's main shed is proposed to be expanded to increase its machine storage capacity and to include an accessible bathroom to accommodate all students. This results in an enlarged building footprint. Detailed design has resulted in external design changes including a smaller and realigned roller door, the addition of windows and vents, and minor changes to the building height. A 2kL rainwater tank is provided to capture stormwater from the roof.

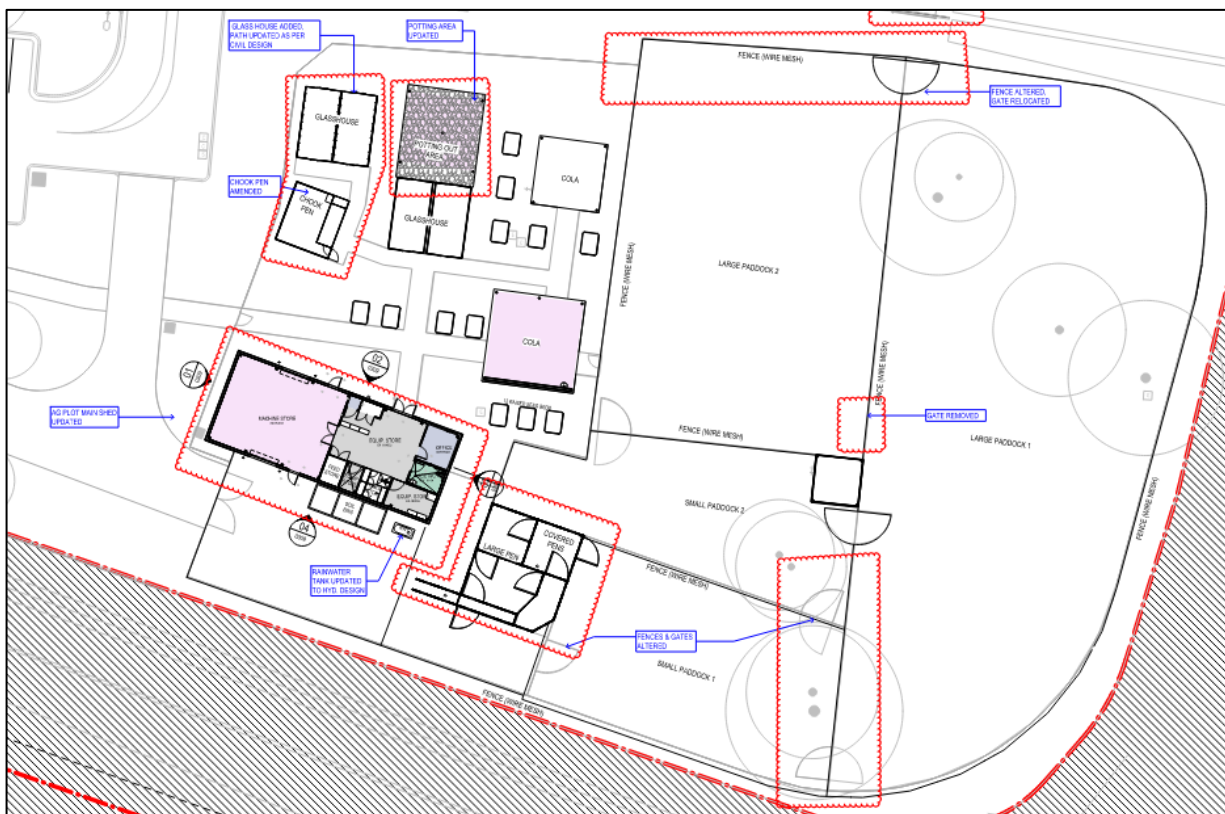


FIGURE 6: PROPOSED MAIN SHED EXPANSION AND PENS

Source: Pedavoli Architects

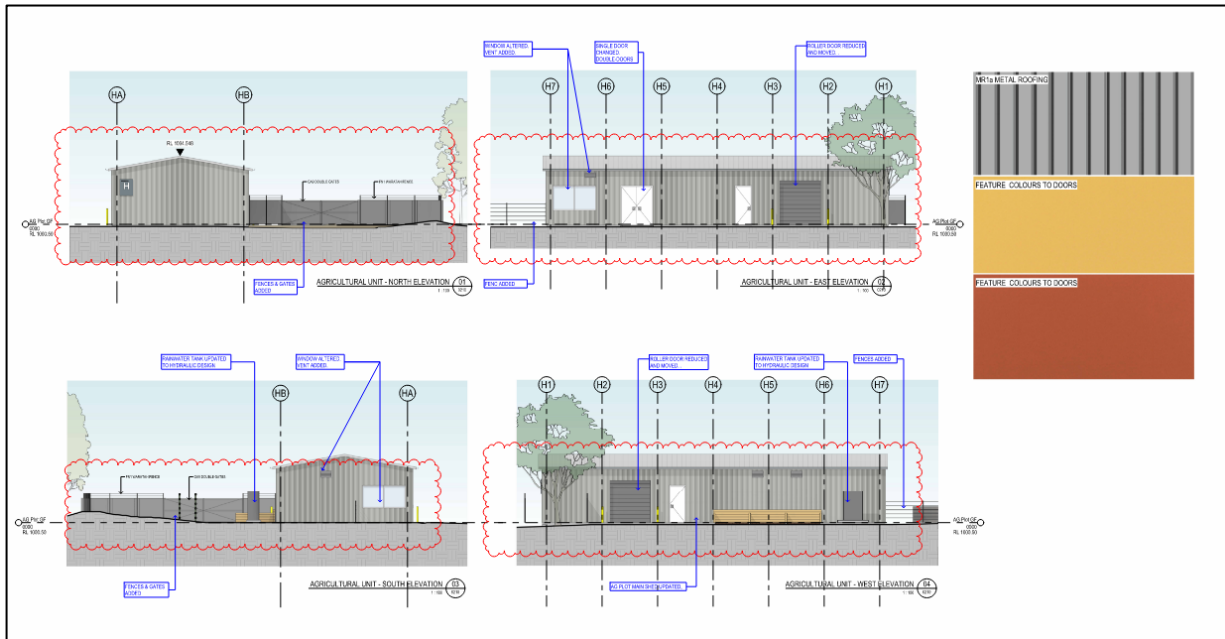


FIGURE 7: PROPOSED MAIN SHED FACADES

Source: Pedavoli Architects

2.1.5 Shared Plaza

The Shared Plaza is proposed to be amended to improve its use and accessibility as follows.

- The amphitheatre's path and seating have been redesigned to improve functionality, pedestrian access, and integration with the natural topography.
- Between Blocks F and D, the walkway façade has been amended to include screens to increase function and aesthetics.

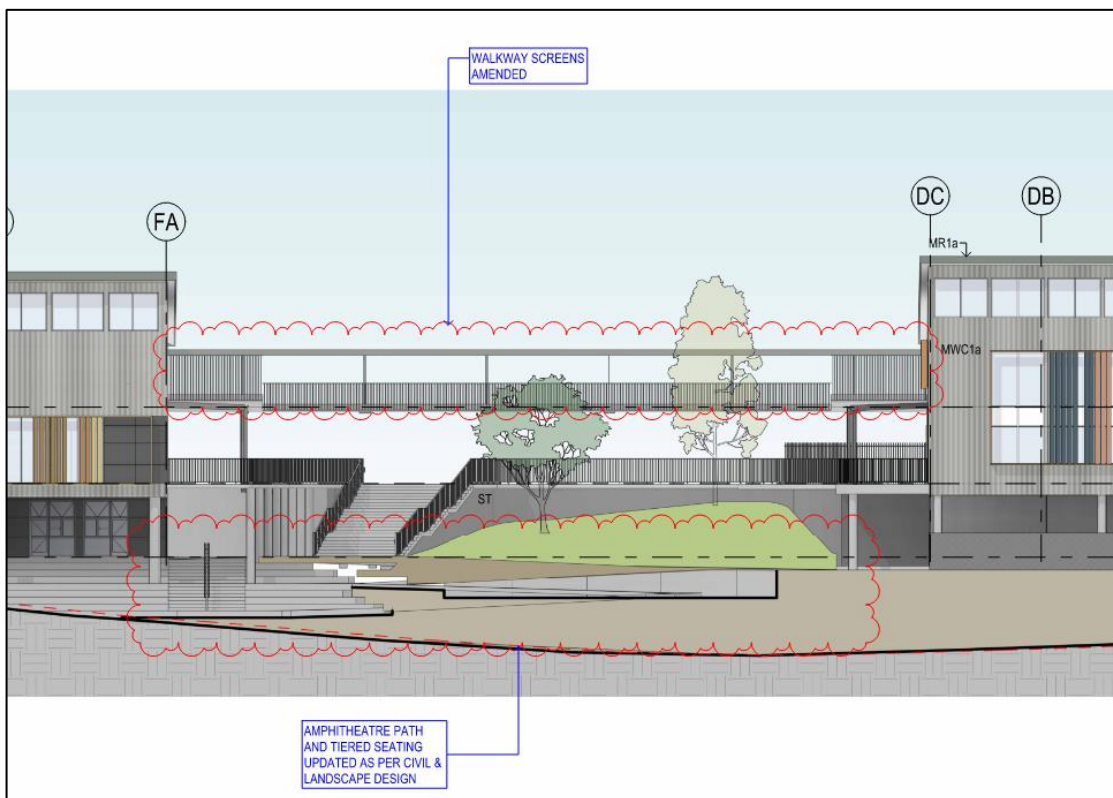


FIGURE 8: SHARED PLAZA AMENDMENTS (EASTERN FAÇADE)

Source: Pedavoli Architects

2.1.6 Open Space (Between Blocks B & C)

Proposed amendments to the open space between Blocks B & C include:

- Aluminum bench seating is proposed to replace the existing handball courts to provide a more flexible use of the paved area.
- The addition of three flagpoles is proposed.
- Minor amendments are proposed to the location of the stone wall to respond to the updated landscape and civil design.

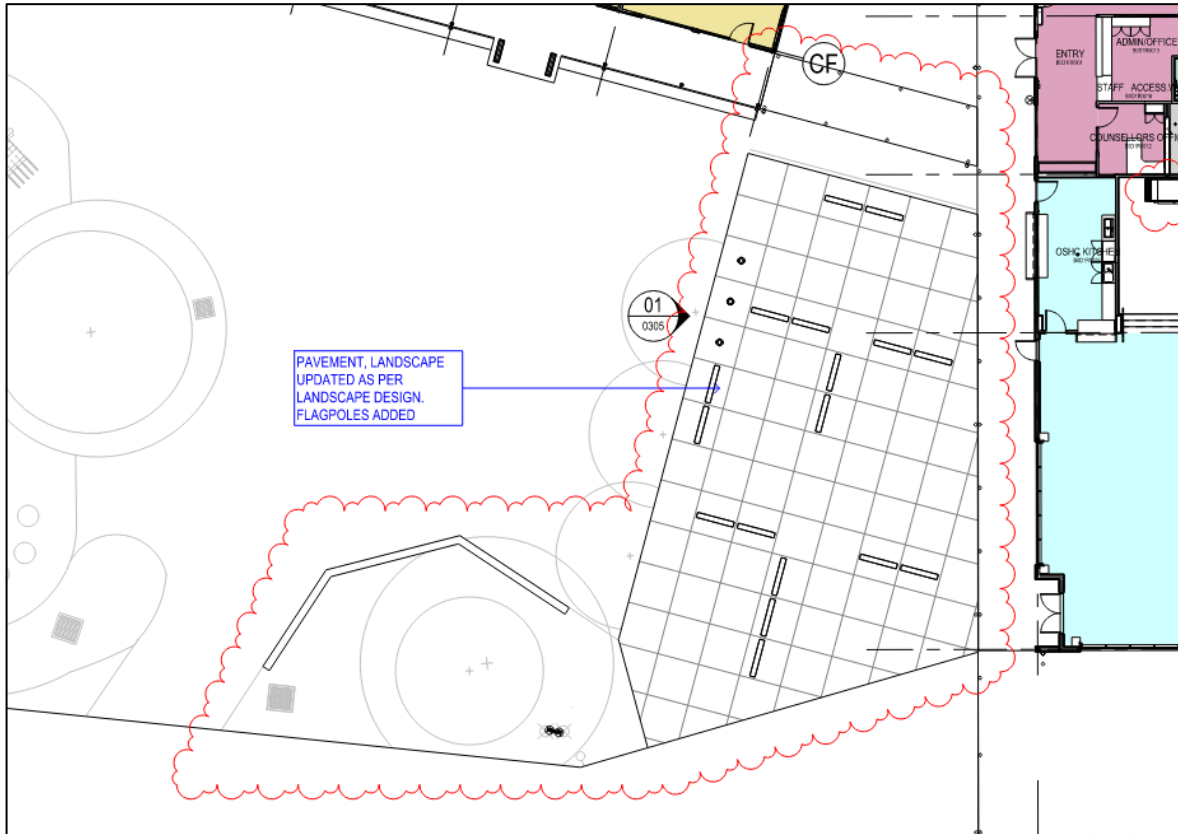


FIGURE 9: OPEN SPACE AMENDMENTS BETWEEN BLOCKS B & C

Source: Pedavoli Architects

2.1.7 Various Open Space Amendments

Other amendments to the various open space areas are as follows.

- Installation of aluminum bench seating to the east of Block A.
- Amendments are proposed for the stone wall and landscaping south and west of Block E and the addition of three flagpoles between Block F and Block G1.
- A new rainwater tank is proposed to the east of Block F, in accordance with the civil and hydraulic design updates.

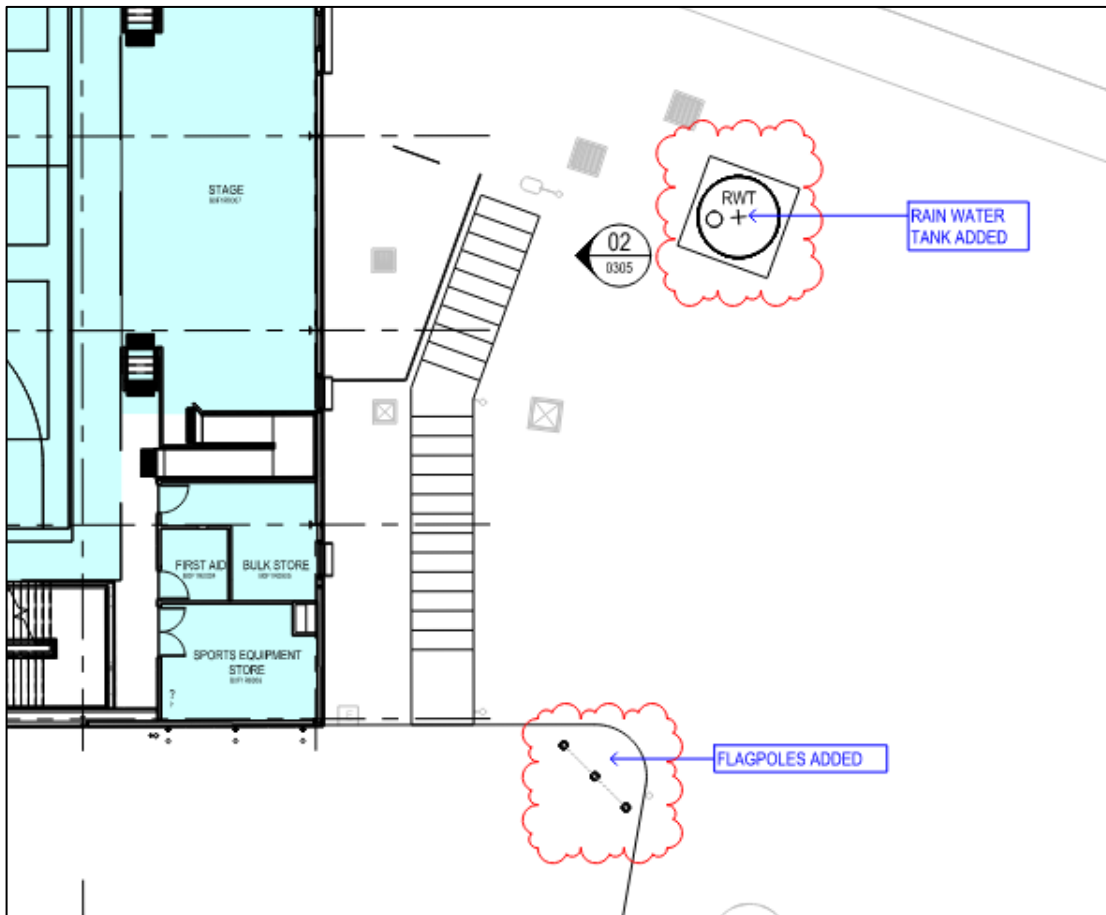


FIGURE 10: PROPOSED OPEN SPACE BETWEEN BLOCK F AND G

Source: Pedavoli Architects

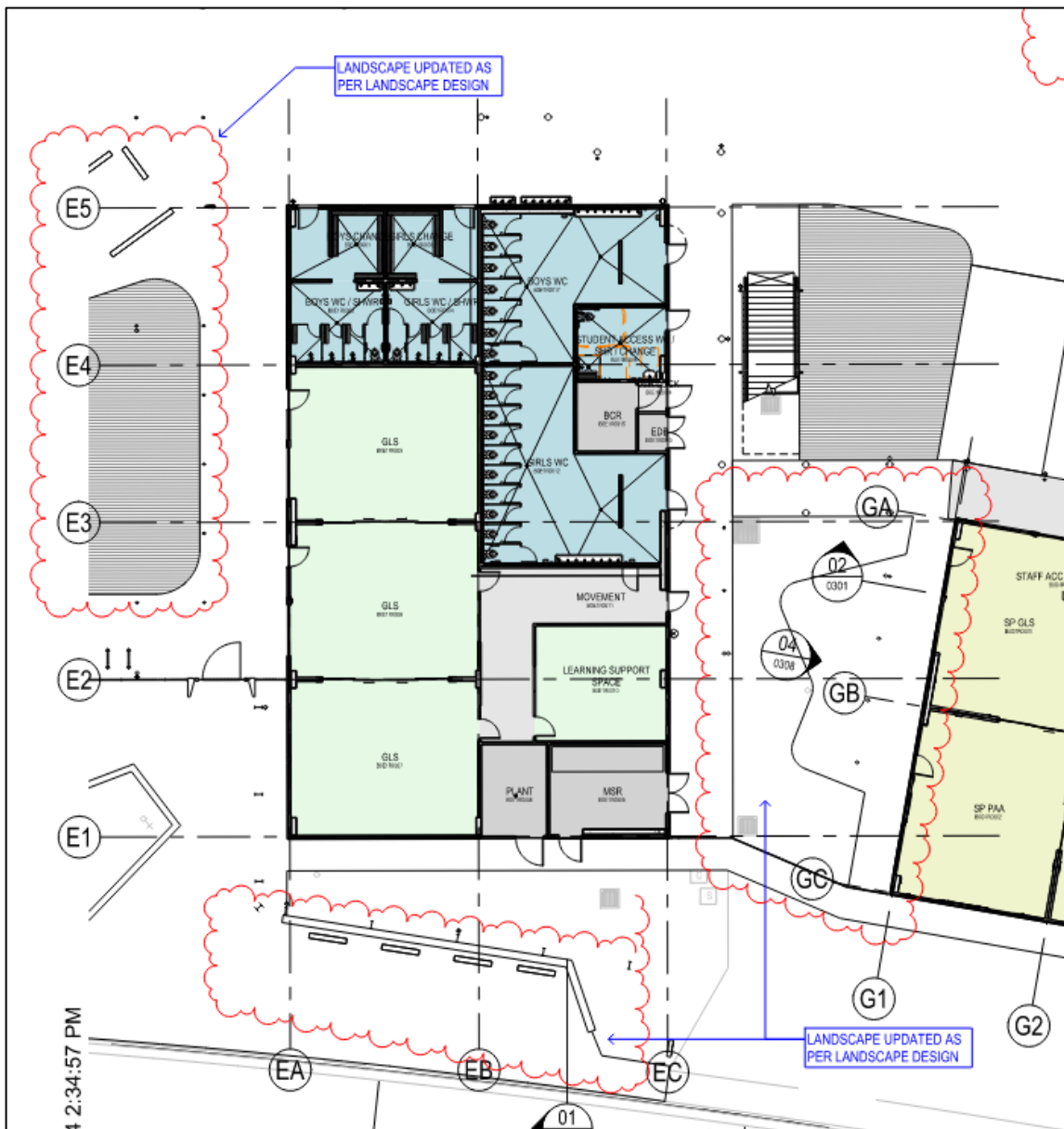


FIGURE 11: PROPOSED OPEN SPACE AROUND BLOCK E

Source: Pedavoli Architects

2.1.8 Block B

Amendments to Block B are detailed below.

- A new rainwater tank is proposed between Blocks B2 and B1.
- A new bin enclosure is also proposed for improved waste screening.
- An undercroft fence is proposed to be added to Building B.

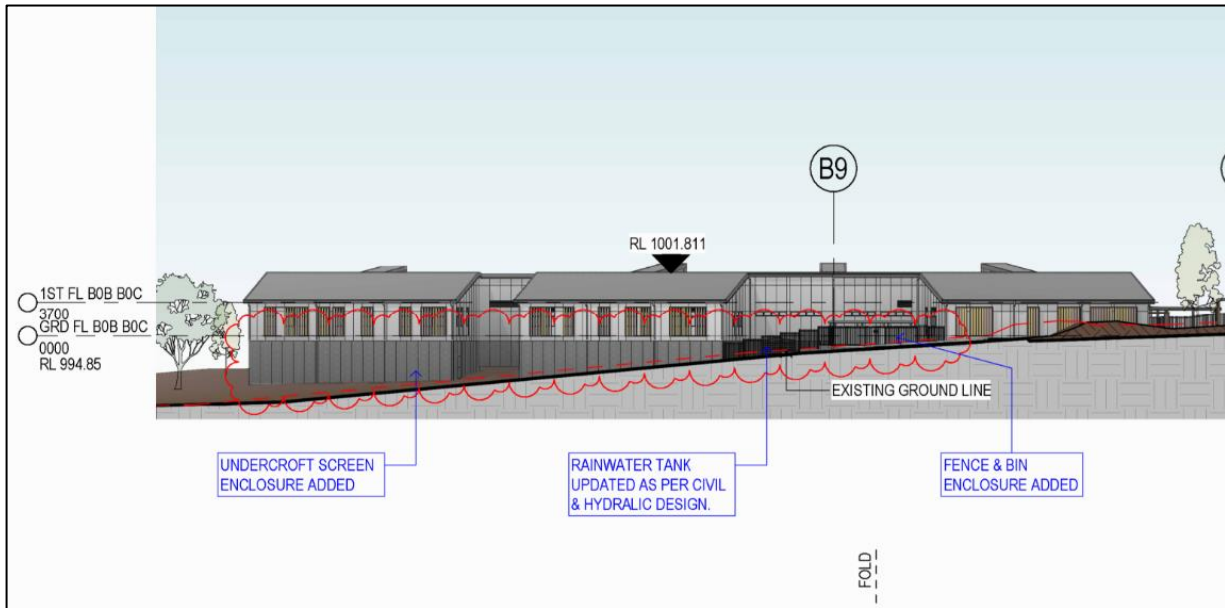


FIGURE 12: BLOCK B AMENDMENTS (WESTERN FAÇADE)

Source: Pedavoli Architects

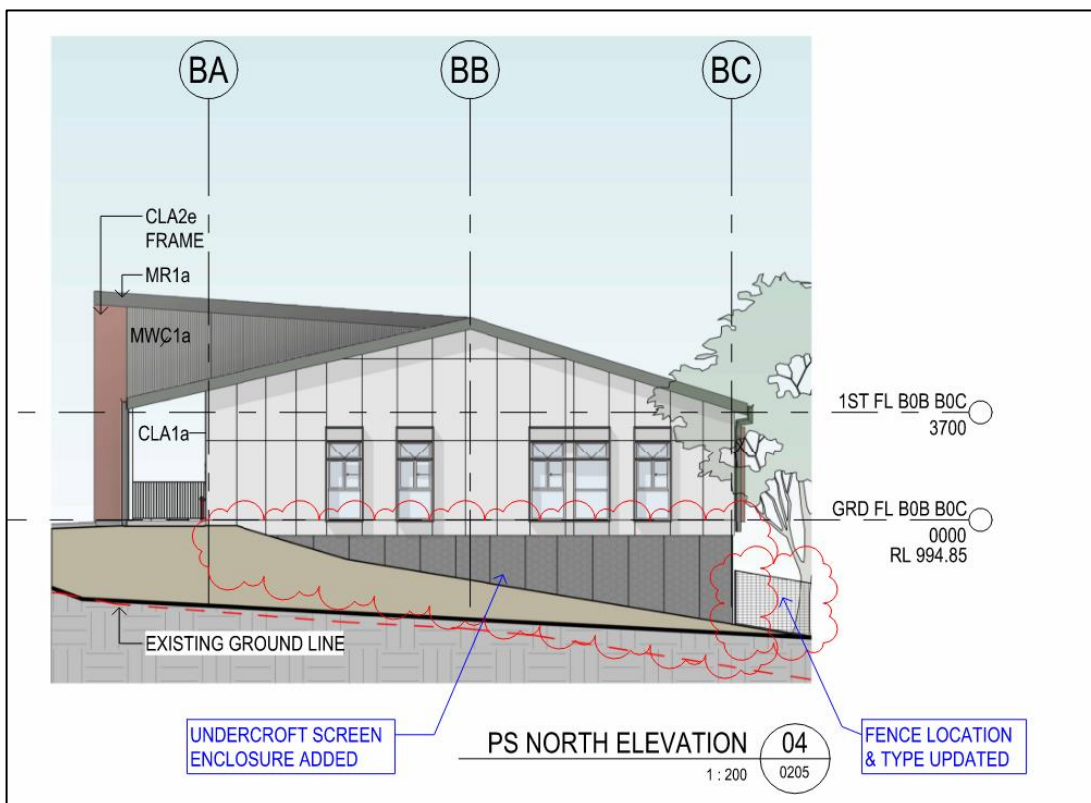


FIGURE 13: BLOCK B AMENDMENTS (NORTHERN FAÇADE)

Source: Pedavoli Architects

2.1.9 Block C

Amendments to Block C are proposed as follows.

- Two new rainwater tanks are proposed between Blocks C2 and C1, to accommodate the civil and hydraulic design updates.
- An undercroft fence is proposed to be added to the building for increased student safety and access control.

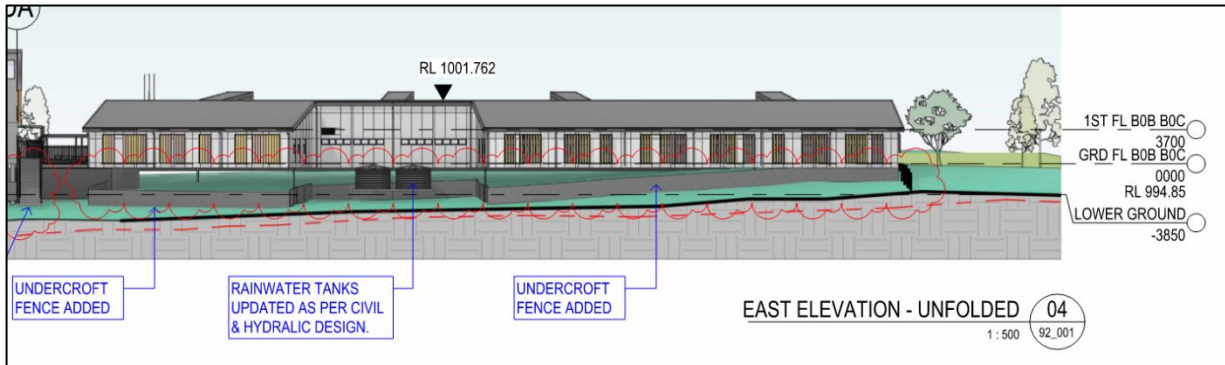


FIGURE 14: BLOCK C AMENDMENTS (EASTERN FAÇADE)

Source: Pedavoli Architects

2.1.10 Block D

The proposed amendments to Block D are as follows.

- New fencing to be added along the northern façade for improved access control.
- Inclusion of detailed stair design and additional fencing on the eastern façade.
- Minor revisions to the mechanical plant area and inclusion of screens in the walkway façade between Blocks D and A for enhanced functionality and appearance.
- Minor increase (from RL 1007.230 to RL 1007.233) in building height to suit detailed design requirements.
- Minor changes to the external façade including amendments to windows and vents as well as changes to the proposed stone wall and retaining wall to suit detailed civil design.

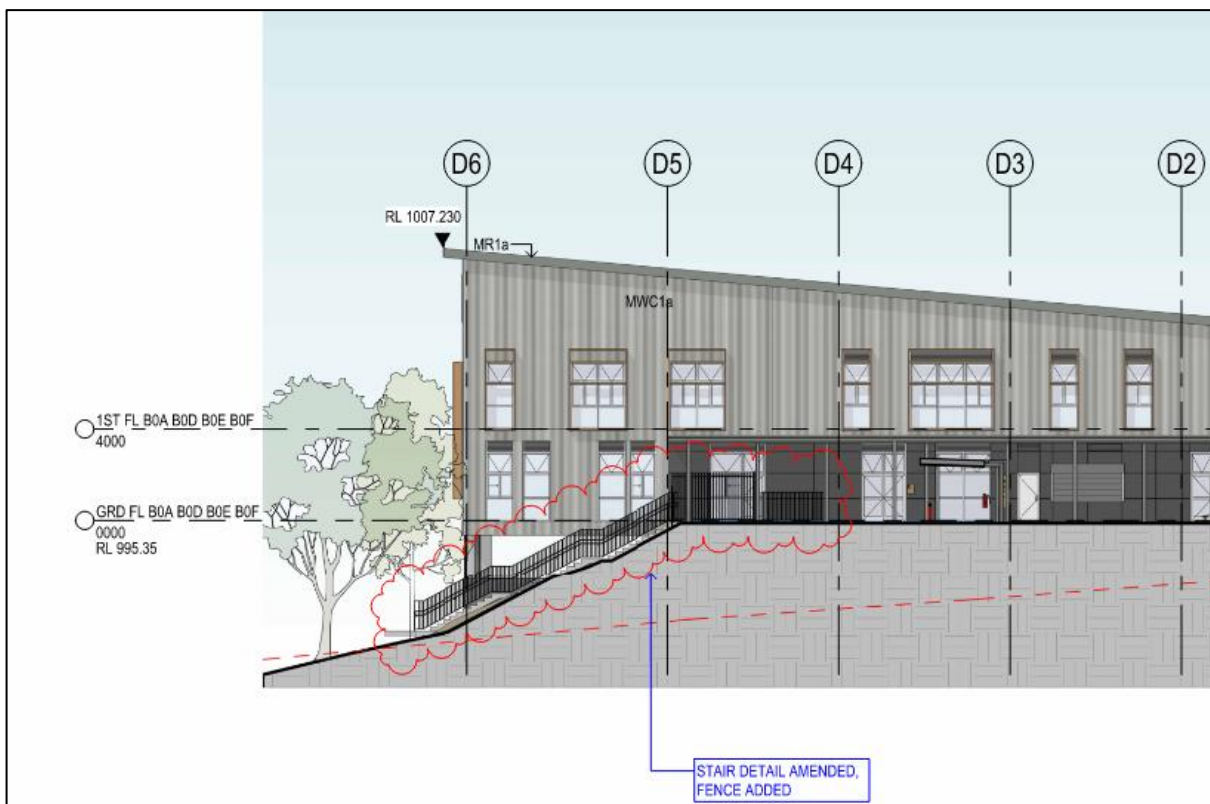


FIGURE 15: NORTHERN ELEVATION OF BLOCK D

Source: Pedavoli Architects



FIGURE 16: NORTHERN ELEVATION – WALKWAY BETWEEN BLOCKS D AND A
Source: Pedavoli Architects

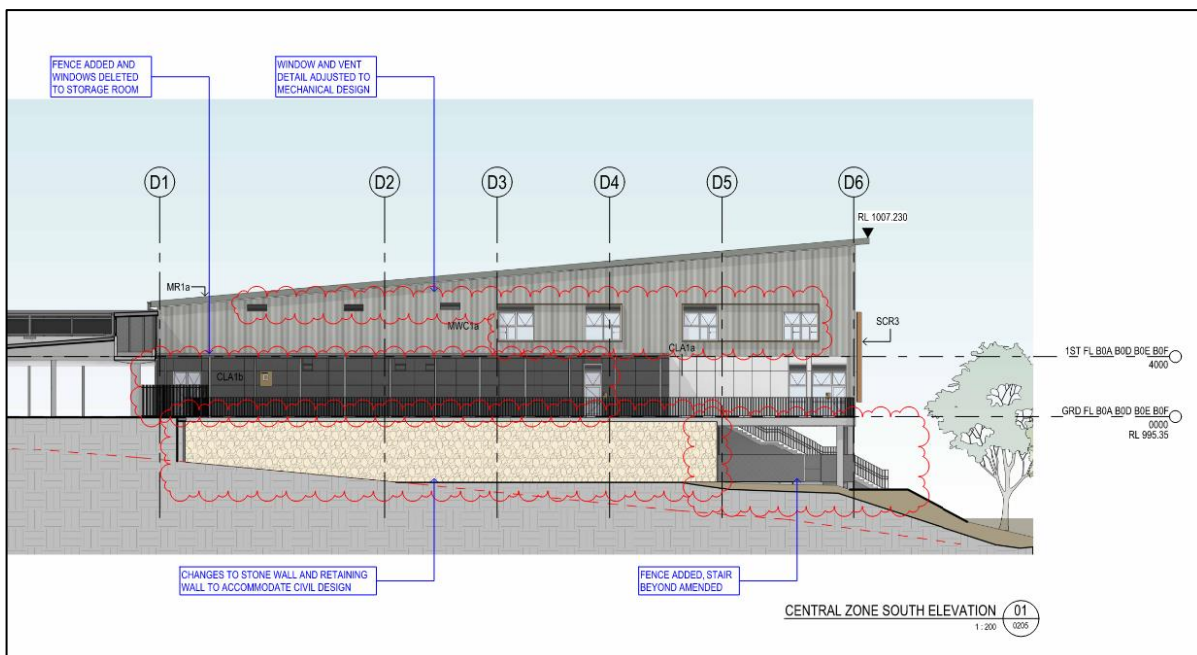


FIGURE 17: CENTRAL ZONE SOUTH ELEVATION OF BLOCK D
Source: Pedavoli Architects

2.1.11 Block E

The updates to Block E include the following changes:

- The proposed solar panels have been removed from the Block E roof (refer to detail provided in Section 2.1.12 of this report).
- Minor modifications have been made to the walkway facade between Blocks E and F integrating new screens.

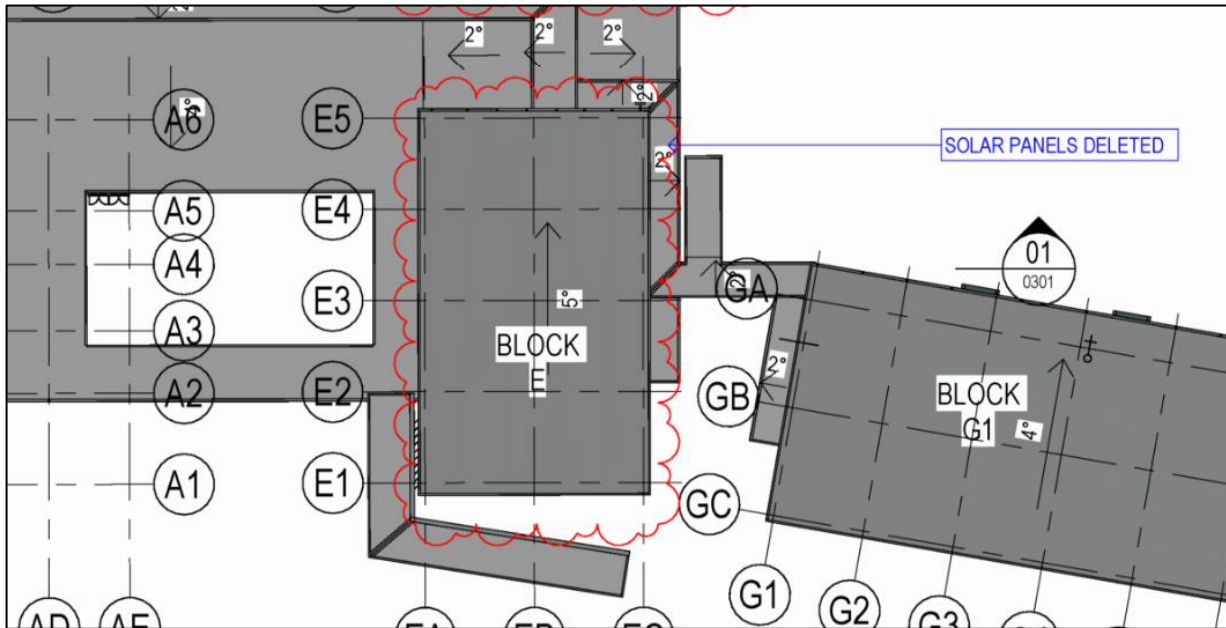


FIGURE 18: PROPOSED BLOCK E PLAN

Source: Pedavoli Architects

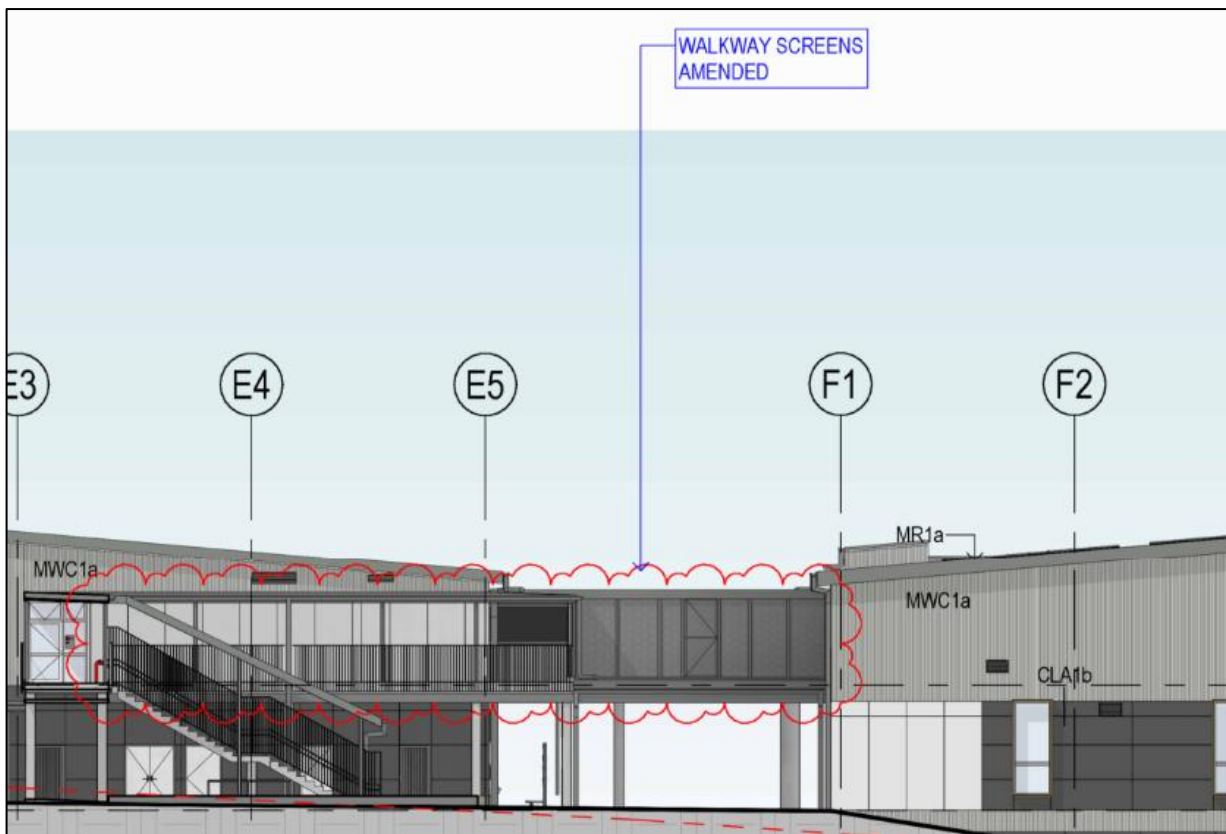


FIGURE 19: PROPOSED WALKWAY SCREENING BETWEEN BLOCKS E & F

Source: Pedavoli Architects

2.1.12 Block F

Amendments to Block F include the following.

- The configuration of solar panels on Block F is proposed to be modified to increase the efficient integration with the roof.

The originally proposed solar panel design included two separate systems with solar panels on both Blocks E and F to accommodate a maximum output of 99.9kW to meet the relevant Education Facilities Standards and Guidelines (**EFSG**) requirements. The revised solar panel design delivers the same output on a single system. As such, the proposal maintains the ability to achieve the minimum 4-star Green Star rating with the Green Building Council of Australia as required under Condition B10 of the consent.

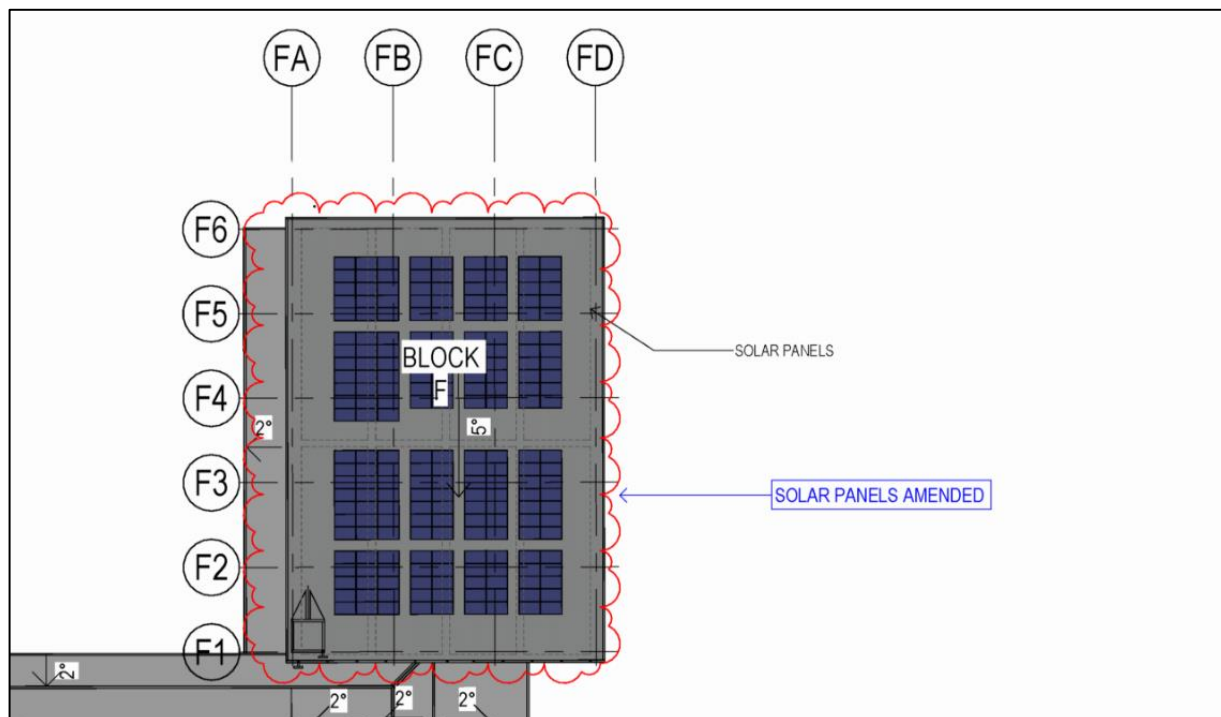


FIGURE 20: PROPOSED SOLAR PANEL LAYOUT AT BLOCK F

Source: Pedavoli Architects

2.1.13 Block G

The proposed amendments to Block G are as follows.

- New fencing along the western façade of Blocks G3 for greater access control.
- Addition of a door and window to the ground floor meeting room in Block G1 for improved functionality.
- Proposed plant room below the stairs in Block G.
- The workshop shed is to be moved to a more appropriate location.
- A new rainwater tank is proposed on the southern end of Block G to increase onsite water detention.
- Minor modifications have been made to the walkway facade between Blocks G and E integrating new screens.
- The ceiling height is proposed to be adjusted and minor amendments to sunshade detail are proposed as a result of detailed design considerations.

- Internal layout amendments to the kitchen preparation and store room, and the wood and metal work store rooms.

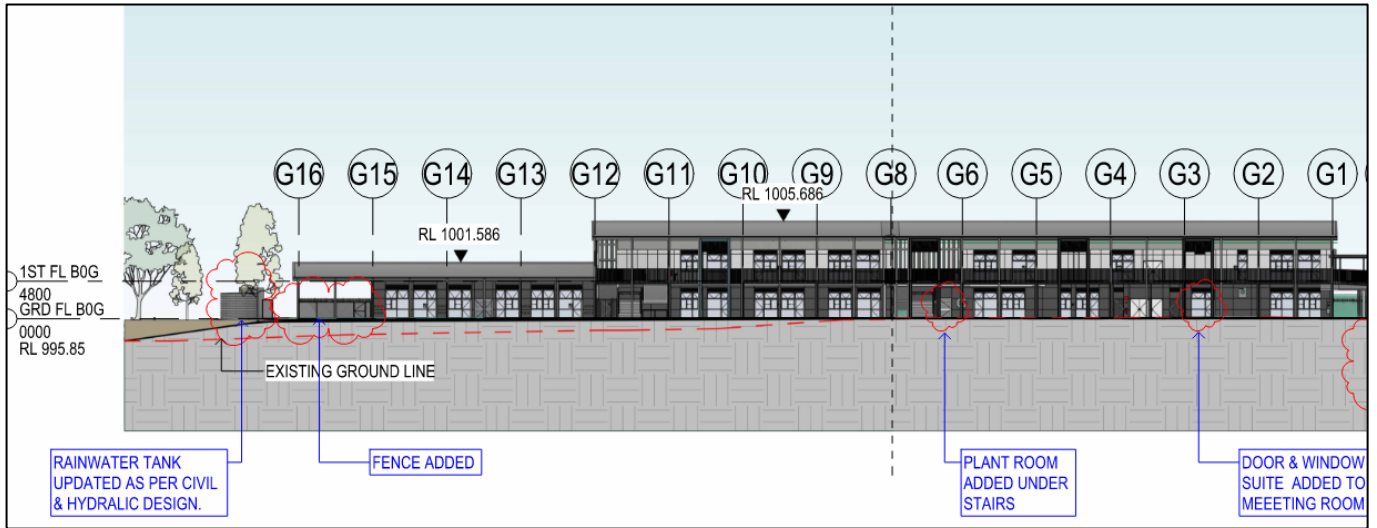


FIGURE 21: BLOCK G EASTERN ELEVATION

Source: Pedavoli Architects



FIGURE 22: BLOCK G WESTERN ELEVATION

Source: Pedavoli Architects

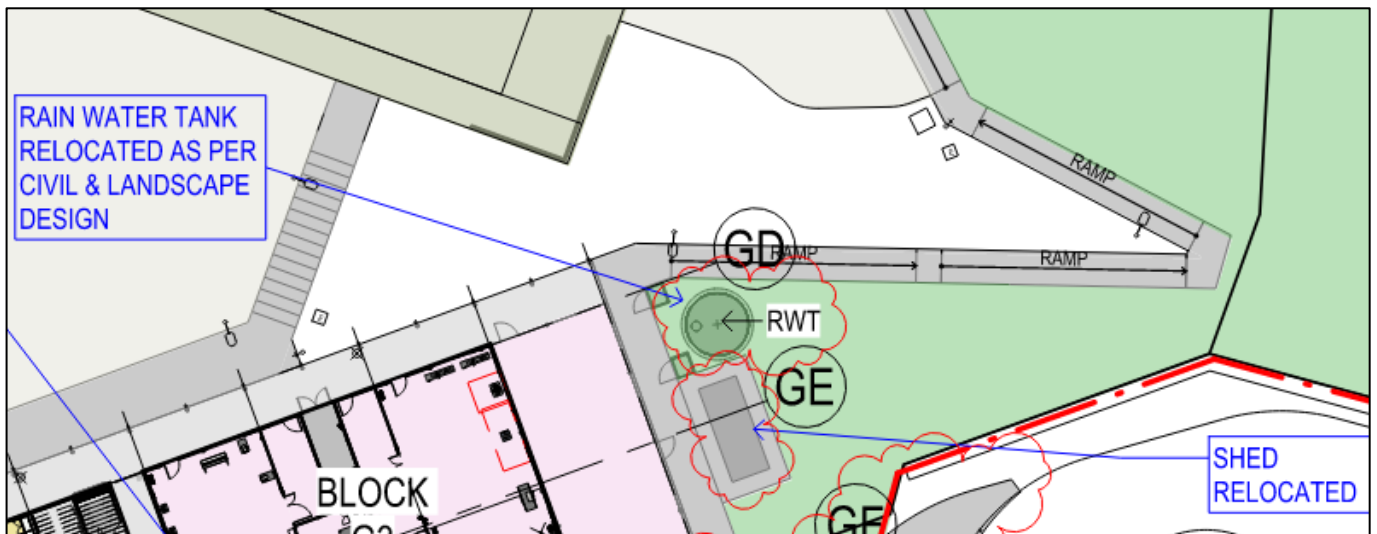


FIGURE 23: PROPOSED LOCATION OF BLOCK G WATER TANK AND SHED

Source: Pedavoli Architects

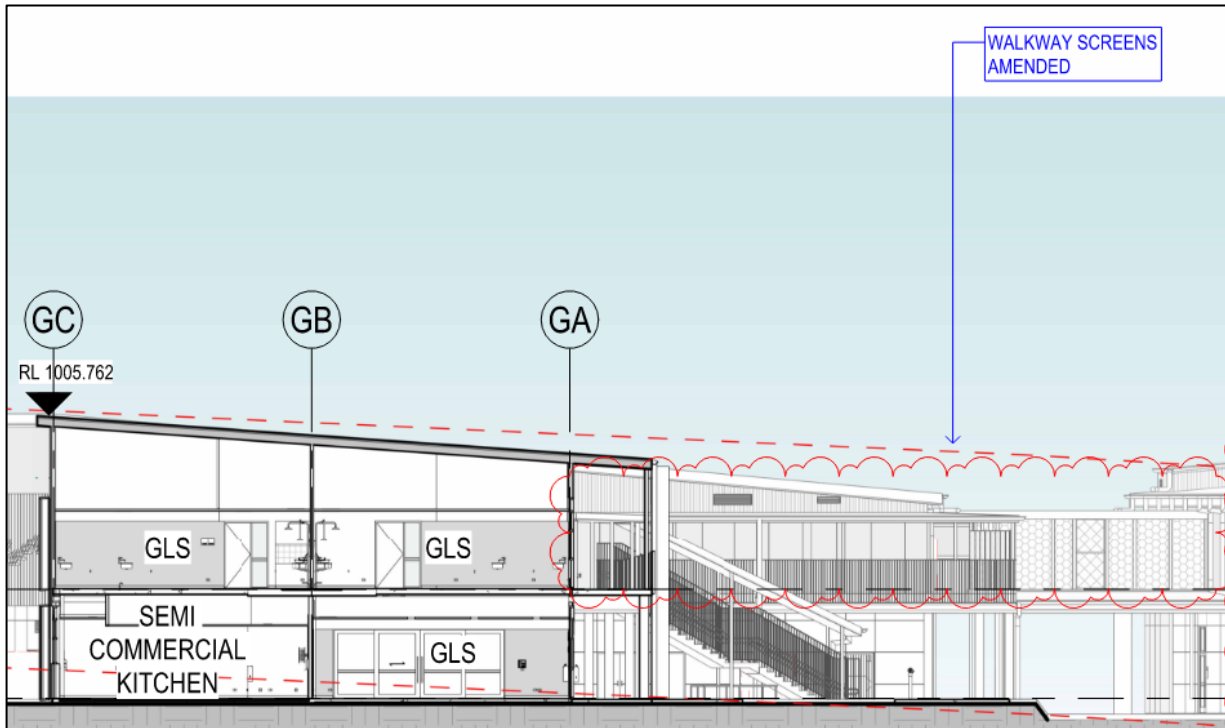


FIGURE 24: PROPOSED WALKWAY SCREENING BETWEEN BLOCK G & C
Source: Pedavoli Architects

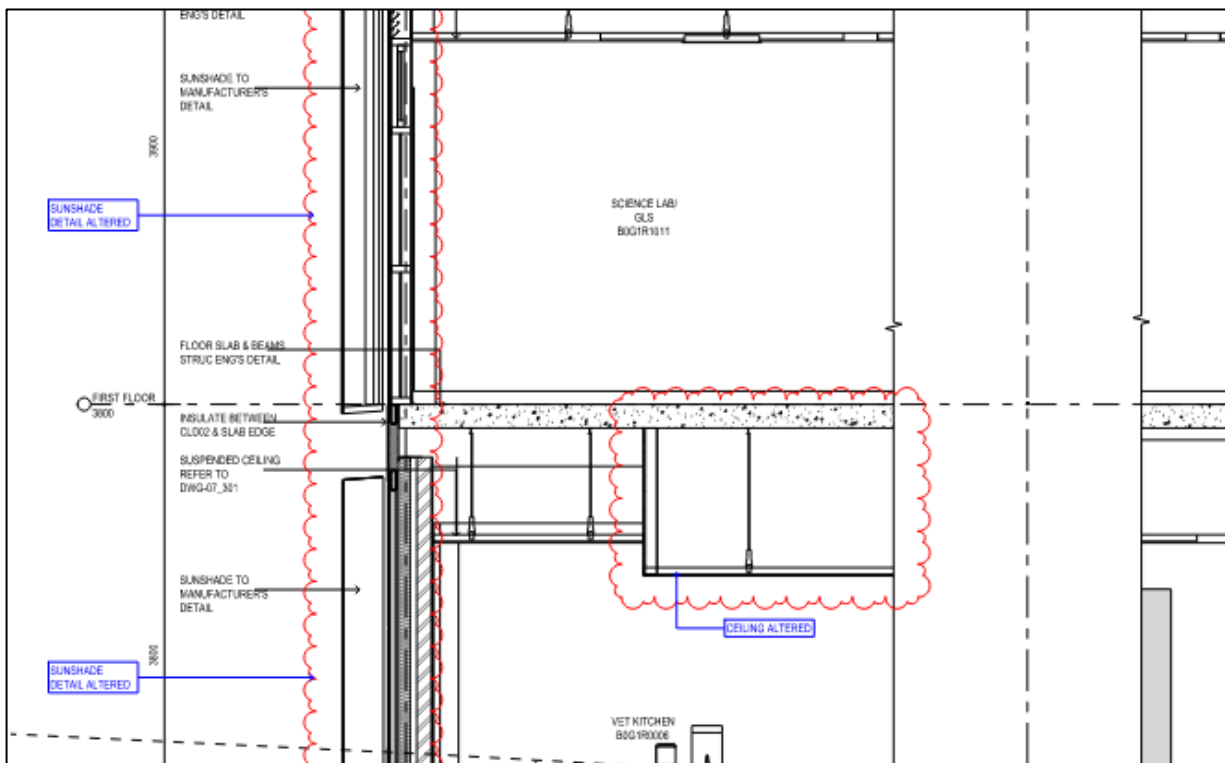


FIGURE 25: PROPOSED CEILING AND SUNSHADE
Source: Pedavoli Architects

2.1.14 Site Infrastructure

Modifications to the site's infrastructure is as follows.

- The pump house is proposed to be relocated to better accommodate the hydraulic design requirements, and fencing around the pump house is proposed for access control and safety.

- The booster's location is proposed to be amended as part of the updates to the hydraulic design.
- Accompanying the pump house changes, the water tanks have also been shifted closer to the car park.
- Fencing is proposed around the LPG tank storage area for access control and safety.

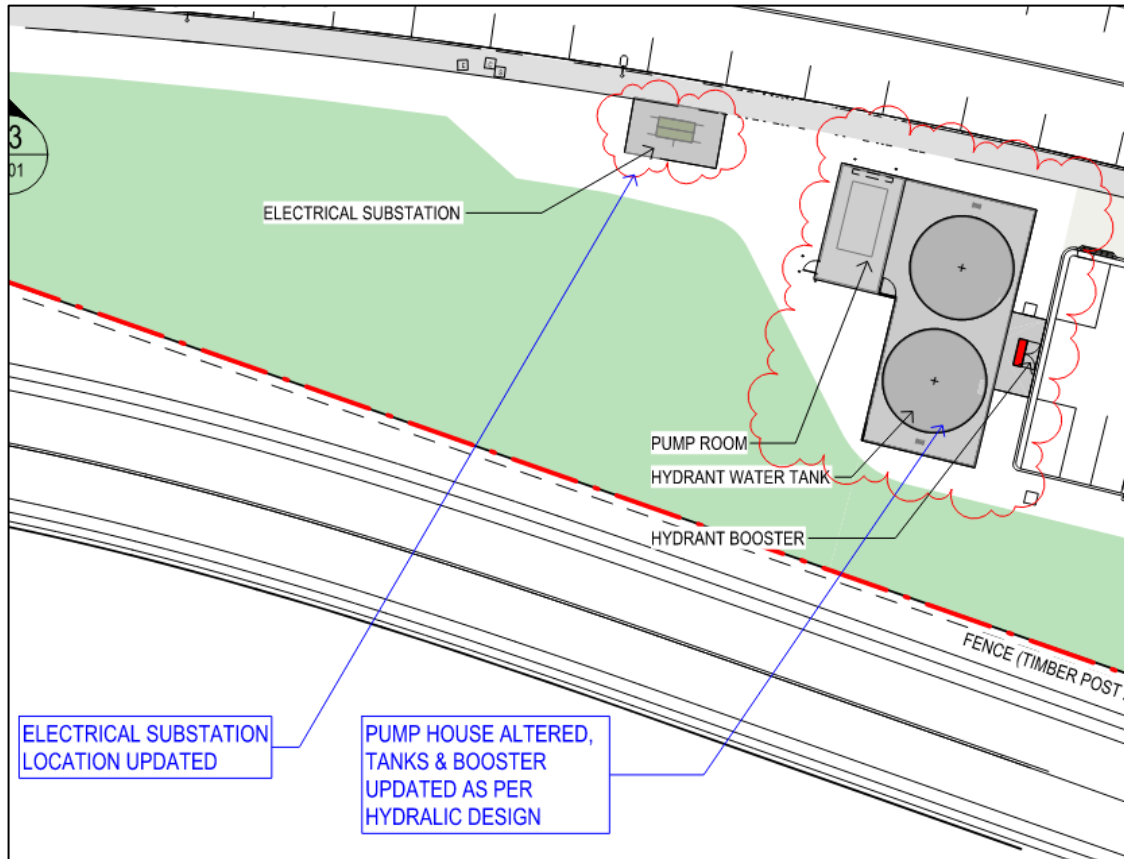


FIGURE 26: UPDATED SITE INFRASTRUCTURE LAYOUT

Source: Pedavoli Architects

2.1.15 Stormwater Management and Sediment Erosion Control

This modification proposes a realignment of the internal stormwater pit and pipe system. Several changes are required as a result of detailed design development and a greater understanding of the onsite conditions. There are minor changes to the OSD system and new rainwater tanks.

The updated catchment plan prepared by Northrop corrects an error submitted in MOD 1 which incorrectly indicated that a portion of the site (including the OSD basin) situated at the southeastern portion of the site discharged to Barry Way. The updated plan correctly identifies that this portion of the site discharges via the OSD basin. The catchment discharge analysis shows that the site stormwater discharge is lower than the pre-development scenario for all storm events and that compliance with Condition C26 is maintained as per the civil statement prepared by Northrop in **Appendix 4**.

The rainwater tanks have been relocated and in some instances have changed from sub-surface to above-ground, to improve site amenity, facilitate ease of maintenance, and locate the tank closer to where the stored water is intended to be used while increasing the total rainwater storage capacity across the site by 9.5kL. The OSD outlet pipe has been realigned so that the stormwater is discharged in the same direction as the swale to reduce the risk of scouring of the swale; there is no proposed change to the total OSD basin volumes.

The erosion and sediment control submitted with MOD 1 has been updated per the amended civil plan set to reflect amended necessary works for site areas that now contain completed structures which remove the need for erosion and sediment control measures for these areas. Refer to the updated civil drawings attached at **Appendix 2** for further detail.

2.1.16 Landscaping

The landscape scheme is proposed to accommodate:

- the various amendments relating to open space design and fencing, and
- to exclude any works from the “biodiversity exclusion zones” nominated as part of the Biodiversity Management Sub-Plan prepared by WSP in accordance with Condition B21 of the consent for SSD-15788005.

The total number of native trees to be retained (105 trees) and removed (105 trees) is unchanged from SSD-15788005 as modified and 190 trees are proposed to be planted. Refer to the updated landscape plans attached at **Appendix 3** for further detail. All the trees previously proposed to be planted in the BEZs are now located within other areas of the site.

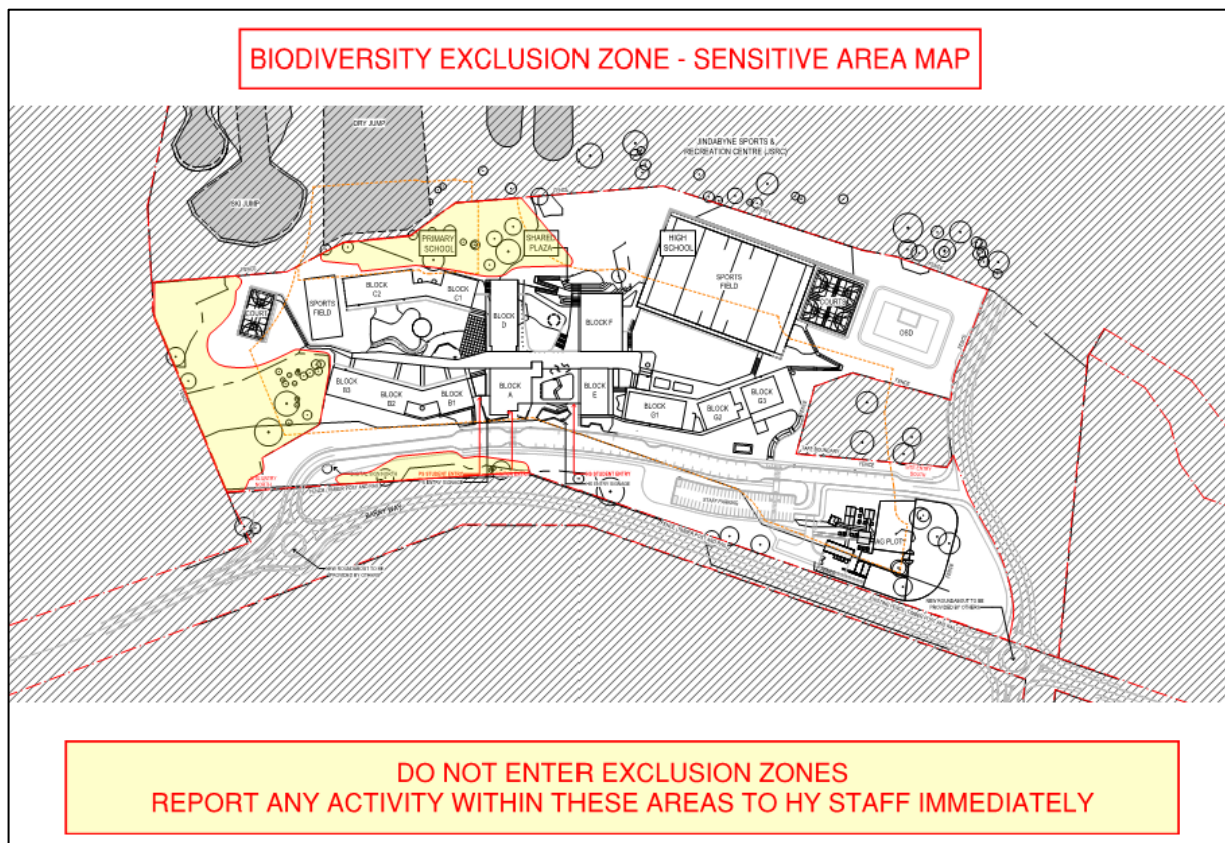


FIGURE 27: BIOSIVERISTY EXCLUSION ZONE SENSITIVE AREA MAP

Source: WSP



FIGURE 28: PROPOSED LANDSCAPE PLAN

Source: Pedavoli Architects

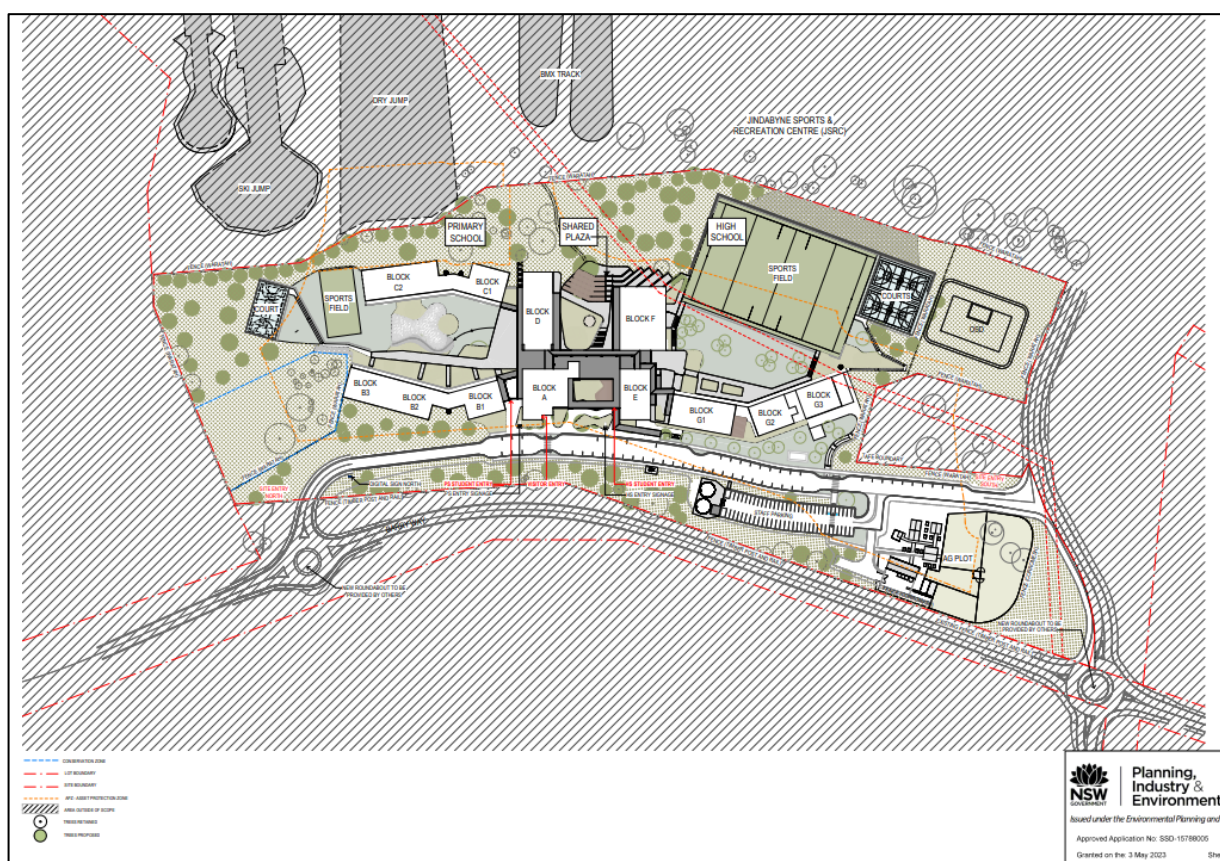


FIGURE 29: APPROVED LANDSCAPE PLAN

Source: Pedavoli Architects

2.2 Required changes to conditions

The proposed amendments to SSD-15788005 are identified below. Words proposed to be deleted are shown in ~~strike through~~ text, and words to be inserted are shown in **underlined bold** text:

SCHEDULE 1

Development consent: SSD-15788005 granted by the Minister for Planning on 10 August 2022

For the following: Construction and operation of a new educational facility including:

- construction of school buildings ranging from 1 to 2 storeys, including
 - general and special support learning areas
 - staff rooms and administration office
 - hall
 - library
 - out of school hours care facility
- landscaping works and open space improvements
- parking, pick-up and set-down zones, bus zones and loading areas
- associated works
- and on-site infrastructure and utilities

Applicant: NSW Department of Education

Consent Authority: Minister for Planning

The Land: **163 Barry Way and 207 Barry Way, Jindabyne**
(Lot 1 DP1294413 and Lot 2 DP 1294413)

Modification 1: Amendments including:

- four additional high school General Learning Spaces and a new one-storey building;
- external and internal design changes to approved buildings;
- new Agricultural Plot structures;
- additional stormwater infrastructure;
- additional tree retention and landscaping changes;
- reconfiguration of car parking spaces and the bus zone; and
- changes to the internal road and access road connecting to Barry Way.

Modification 2: **Amendments including:**

- **Replacement of boom gates with swing gates for smoother traffic management and to improve the security of the kiss and drop function.**
- **Provision of vehicular access to the TAFE Campus from the school site to facilitate drop off of materials to wood and metalwork classrooms. This requires inclusion of a small part of 207 Barry Way (TAFE site), within the project area. TAFE NSW has provided consent for contractors to conduct these works on the TAFE NSW Jindabyne Connected Learning Centre.**

- Enhancements to the agricultural plot, including a new glasshouse and main shed expansion.
- Relocation of one wayfinding sign to the west of Block A.
- Redesign of the shared plaza amphitheatre and other open space amendments.
- Revised landscape design to ensure avoidance of works within nominated “Biodiversity Exclusion Zones” per the Biodiversity Management Plan prepared by WSP dated May 2023.
- Various minor design amendments including to rainwater tanks, fencing, on-site stormwater detention, solar panels, sheds, aq plot layout, and other minor internal and external amendments.
- Relocation of the pump house as a result of detailed hydraulic design.
- The addition of a pedestrian pathway connecting the Jindabyne Education Campus to Barry Way to facilitate active transportation opportunities for students and staff.
- Amendment of SSD-15788005 condition of consent B20 relating to Aboriginal artefact Jindabyne Campus AFT 2.
- Removal of SSD-15788005 condition of consent B39 relating to the proposed pylon sign.

Amendment of SSD-15788005 condition of consent C28 to align with Aboriginal Cultural Heritage consultation requirements recommended by NGH.

A2. The development may only be carried out:

- in compliance with the conditions of this consent;
- in accordance with all written directions of the Planning Secretary;
- generally in accordance with the EIS and Response to Submissions and Supplementary Response to Submissions;
- in accordance with the approved plans in the table below:

Architectural Plans prepared by djrd Pedavoli Architects			
Dwg No.	Rev	Name of Plan	Date
SSDA.0003 3332-SSDA-003	F J N	Proposed Site Context Plan	03.05.21 16.11.22 09.05.24
SSDA.0005 3332-SSDA-005	D H K	Demolition Plan	03.05.21 16.11.22 09.05.24
SSDA.0101 3332-SSDA-0101	N R X	Proposed Site Plan	03.05.21 16.11.22 09.05.24
SSDA.0201 3332-SSDA-0201	L O R	Lower Ground Floor Plan	03.05.21 14.11.22 09.05.24
SSDA.0202	K	Ground Floor Plan	03.05.24

3332-SSDA-0202	Q T		16.11.22 09.05.24
SSDA.0203 3332-SSDA-0203	J M O	First Floor Plan	03.05.24 14.11.22 09.05.24
SSDA.0204 3332-SSDA-0204	J M O	Roof Plan	03.05.24 14.11.22 09.05.24
3332-SSDA-0205	G F	Primary School Ground Floor Plan	14.11.22 09.05.24
3332-SSDA-0206	G F	Primary School First Floor Plan	14.11.22 09.05.24
3332-SSDA-0207	G E	High School Lower Ground	14.11.22 09.05.24
3332-SSDA-0208	G H	High School Ground Floor Plan	14.11.22 09.05.24
3332-SSDA-0209	G G	High School First Floor Plan	14.11.22 09.05.24
3332-SSDA-0210	D H	Agricultural Plot Plan	16.11.22 09.05.24
SSDA.0301 3332-SSDA-0301	E I K	Elevations	03.05.24 16.11.22 20.12.23
SSDA.0302 3332-SSDA-0302	F I J	Sections	03.05.24 14.11.22 27.11.23
SSDA.0303 3332-SSDA-0303	D G I	Sections	22.06.24 14.11.22 20.12.23
SSDA.0304 3332-SSDA-0304	G J M	Elevations— Plaza Elevations- Plaza- Sheet 01	12.03.24 14.11.22 20.12.23
SSDA.0305 3332-SSDA-0305	G J L	Elevations— Plaza-2 Elevations- Plaza- Sheet 02	16.03.24 14.11.22 27.11.23
SSDA.0306 3332-SSDA-0306	G J L	Elevations – Plaza Internal	16.03.24 14.11.22 27.11.23
SSDA.0307 3332-SSDA-0307	G J L	Primary School Elevations Elevations- Primary School	12.03.24 14.11.22 27.11.23
SSDA.0308 3332-SSDA-0308	G J M	High School Elevations Elevations- High School	12.03.24 14.11.22 20.12.23
3332-SSDA-0309	A G E	Elevations- Agricultural Plot	14.11.22 27.03.24
SSDA.0401 3332-SSDA-0401	D G H	Façade Detail Section Detail	03.05.24 14.11.22 27.11.23

SSDA.0402 3332-SSDA-0402	D G H	Façade Detail Section Detail	03.05.21 14.11.22 27.11.23
SK0005-01	A	Agricultural Unit – Elevations	22.06.22
Landscape Plans prepared by Site Image Taylor Branner Landscape Architects			
Dwg No.	Rev	Name of Plan	Date
SS20-4530-000 L000 JEC-LA-SSDA-L000	06 E D	Landscape Cover Sheet	31.05.22 15.11.22 01.05.24
SS20-4530-001 L100 JEC-LA-SSDA-L100	07 E D	Landscape Plan – Site Landscape Master Plan	31.05.22 15.11.22 01.05.24
SS20-4530-101 L101 JEC-LA-SSDA-L101	06 E C	Landscape Plan – North Landscape: Finishes Plan	31.05.22 15.11.22 17.04.24
SS20-4530-102 L102 JEC-LA-SSDA-L102	05 E C	Landscape Plan – Central Landscape: Finishes Plan	16.12.21 15.11.22 17.04.24
SS20-4530-103 L103 JEC-LA-SSDA-L103	05 E C	Landscape Plan South Landscape: Finishes Plan	16.12.21 15.11.22 17.04.24
SS20-4530-104 L104 JEC-LA-SSDA-L104	05 E C	Landscape Plan – West Landscape: Finishes Plan	18.12.21 15.11.22 17.04.24
SS20-4530-601 L105 JEC-LA-SSDA-L105	03 E C	Landscape Sections Landscape: Finishes Plan	11.11.21 15.11.22 17.04.24
SS20-4530-602 L106 JEC-LA-SSDA-L106	03 E C	Landscape Sections Landscape: Finishes Plan	11.11.21 15.11.22 17.04.24
SS20-4530-603 L107 JEC-LA-SSDA-L107	03 E C	Landscape Sections Landscape: Finishes Plan	11.11.21 15.11.22 17.04.24
SS20-4530-901 L108 JEC-LA-SSDA-L108	07 E D	Existing Tree Plan Landscape: Finishes Plan	31.05.22 15.11.22 01.05.24
SS20-4530-902 L200 JEC-LA-SSDA-L200	06 E B	Canopy Cover Plan Landscape: Cross-sections	31.05.22 15.11.22 17.04.24
L201 JEC-LA-SSDA-L201	E B	Landscape: Cross-sections	15.11.22 17.04.24
L202 JEC-LA-SSDA-L202	E B	Landscape: Cross-sections	15.11.22 17.04.24
L300 JEC-LA-SSDA-L300	E D	Landscape: Existing Tree Study	15.11.22 01.05.24
L301 JEC-LA-SSDA-L301	E D	Landscape: Canopy Cover Plan	15.11.22 01.05.24
Civil Plans prepared by Northrop			

Dwg No.	Rev	Name of Plan	Date
<u>NRP-CEC-MOD2-DWG-0001</u>	A	<u>Cover sheet, Drawing Schedule & Locality Plan</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0111</u>	A	<u>Specification Notes- Sheet 01</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0112</u>	A	<u>Specification Notes- Sheet 02</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0201</u>	A	<u>Concept Sediment & Erosion Control Plan</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0211</u>	A	<u>Sediment & Erosion Control Details</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0301</u>	A	<u>Bulk Earthworks Cut & Fill Plan</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0401</u>	A	<u>Siteworks & Stormwater Management Plan - Sheet 01</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0402</u>	A	<u>Siteworks & Stormwater Management Plan - Sheet 02</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0403</u>	A	<u>Siteworks & Stormwater Management Plan - Sheet 03</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0431</u>	A	<u>Access Road Longitudinal Sections-Sheet 01</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0451</u>	A	<u>Access Road Cross Sections - Sheet 01</u>	<u>15.1.24</u>
<u>P-CEC-MOD2-DWG-0452</u>	A	<u>Access Road Cross Sections - Sheet 02</u>	<u>15.1.24</u>
<u>P-CEC-MOD2-DWG-0453</u>	A	<u>Access Road Cross Sections - Sheet 03</u>	<u>15.1.24</u>
<u>P-CEC-MOD2-DWG-0454</u>	A	<u>Access Road Cross Sections - Sheet 04</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0521</u>	A	<u>Stormwater Longitudinal Sections- Sheet 01</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0522</u>	A	<u>Stormwater Longitudinal Sections- Sheet 02</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0523</u>	A	<u>Stormwater Longitudinal Sections- Sheet 03</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0523</u>	A	<u>Stormwater Longitudinal Sections- Sheet 04</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0591</u>	A	<u>Stormwater Catchment Plan- Sheet 01</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0991</u>	A	<u>Design Comparison Plan – Sheet 1</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0992</u>	A	<u>Design Comparison Plan – Sheet 2</u>	<u>15.1.24</u>
<u>NRP-CEC-MOD2-DWG-0993</u>	A	<u>Design Comparison Plan – Sheet 3</u>	<u>15.1.24</u>

- B20. The Aboriginal Cultural Heritage Management Sub-Plan (ACHMSP) must address, but not be limited to, the following:
- (a) be prepared by a suitably qualified and experienced expert in consultation with the Registered Aboriginal Parties;
 - (b) ~~describe the measures to protect the known artefact Jindabyne Campus AFT 2 in perpetuity;~~
 - (c) implement recommendations made in the Aboriginal Cultural Heritage Assessment for Jindabyne Education Campus dated 23 May 2022 prepared by NGH Pty Ltd
- ~~B39. Prior to the commencement of construction, the Applicant must consult with Council about the location and approval pathway for the pylon sign within the road reserve. The sign is not approved as part of this development consent.~~
- C28. A representative of the Local Aboriginal Land Council must be invited to observe works associated with condition B20 undertaken on the site. Any invitation must be provided at least 14 days prior to the works occurring and reasonable arrangements agreed for the observation of the works where an invitation is accepted. In the event that any unexpected finds are discovered, any direction from the Local Aboriginal Land Council representative and the procedures outlined in condition C29 must be followed.
- Additionally, in the event of an unexpected find, known Aboriginal Custodians must be notified of the find and consulted with regard to mitigation works.**

3 Strategic context

The modified development would remain consistent with relevant State and local strategic plans and strategies. In particular, the modified development would remain consistent with:

- Transport for NSW's Future Transport Strategy 2056, as it would provide a new educational establishment in an accessible location and provide access to additional new employment opportunities.
- Infrastructure NSW's State Infrastructure Strategy 2018 – 2038 Building the Momentum, as it provides facilities to support the growth in demand for primary student enrolments and a school design to accommodate infrastructure and facilities sharing with communities.
- Council's Local Strategic Planning Statement, through the provision of a new primary and high school that is fit for purpose with modern and accessible facilities.
- NSW South East and Tablelands Regional Plan 2036, as it would provide a new school that is essential for achieving a connected and prosperous economy.
- Snowy Monaro 2040 Community Strategic Plan in that it would promote education and lifelong learning opportunities for the younger population.
- Snowy Mountains Special Activation Precinct Masterplan in that it provides for a school in the location identified within the Sports and Education Sub-Precinct of the Jindabyne Catalyst Precinct.

4 Statutory context

4.1 Scope of modification

This application is being made under section 4.55(2) of the EP&A Act, which enables the consent authority to amend an approved application provided that, inter-alia, the modification results in substantially the same development as that approved.

We consider that the proposed modification would result in substantially the same development because it would not change the development's land use, considerably change the appearance of the school, or alter the essence of the development as a public primary and high school.

A comparative table is provided below outlining the changes of the main aspects of the development against the initial approval, with the changes made under MOD 1 provided for additional context.

Aspect	SSD-15788005	SSD-15788005-Mod-1	SSD-15788005-Mod-2
Project summary	Construction and operation of the Jindabyne new education campus comprising of single and double storey buildings, and associated work including demolition, tree removal, access and landscaping, car parking and installation of utilities to accommodate up to 925 students and 90 staff	No change	No change
Demolition	Demolition of three existing dwellings, bitumen roads and site fencing.	No change	No change
Built Form	<p>The primary school campus will be single storey and arranged in a U shape surrounding a central play space area. The campus will include 20 classrooms, amenities, special learning spaces a library, and outdoor and hardstand courts.</p> <p>The high school campus will be two storeys and is linear in shape. The campus will include 20 classrooms, amenities, special learning spaces, a library, a sports field and hardstand courts.</p> <p>The two campuses will be connected by a 'shared plaza' within the centre of the site. The building will be two storeys and will include communal facilities including administration, hall and gym.</p>	<p>Primary school: No change</p> <p>High School 4 additional General Learning Spaces</p> <p>Shared Plaza: No Change</p>	<p>Primary school: No change</p> <p>High school: No change from Mod 1</p> <p>Shared Plaza: No Change</p>
Site area	9.52 Ha	No change	No change
Uses	Educational Establishment	No change	No change
Access	Vehicular and pedestrian access point off Barry Way Road along the western boundary including two new roundabouts and a connecting internal road.	Realignment and regrading of the internal school road	The approved boom gates on the north and south entrance are proposed to be replaced with swing gates. An access path is provided from the internal school road to the TAFE Campus.

Car parking	113 on-site parking spaces consisting of: • 50 staff spaces in a carpark • 6 student spaces in a carpark • 57 spaces along the internal road reserve including 53 'kiss and ride' spaces and 4 visitor spaces 4 bus bays	-1 additional 'kiss and ride' space in the internal school road. -Relocation of 4 visitor spaces from the internal school rod to the carpark area.	No change from Mod 1.
-Bicycle parking	50 bicycle parking spaces (with capacity for an additional 50 bicycle parking spaces when demand increases) and end-of-trip facilities.	No Change	No Change
Landscaping	Removal of 115 native trees on site and landscaping.	Removal of 105 native trees on site and landscaping refined.	Removal of 105 trees on site and landscaping refined.
Hours of operation	7:00am to 6:00pm Monday to Friday. The hall, gym and sports fields will also be used outside of standard hours on weekdays until 10pm for special school events such as presentation nights, drama, or music recitals and available for community hire.	No change	No change
Signage	Three individual letter signage depicting the main entries for the primary school, high school, and visitor/administration building.	No change	The wayfinding signage located at the primary school entrance is repositioned.
Jobs	Operational: 90 Construction: 75	No change	No change

The proposed changes are such that the essence of the development is not fundamentally a different development than what was originally approved. Therefore, DPE can be satisfied that the proposed modification is within the scope of section 4.55(2) of the EP&A Act and does not constitute a substantially different development to that approved under SSD-15788005.

4.2 Consent authority

The Minister for Planning and Public Spaces is the consent authority for the application under section 4.5(a) of the EP&A Act. The Minister may delegate determination in accordance with the Minister's delegation dated 9 March 2022.

4.3 Mandatory matters for consideration

4.3.1 Section 4.55(2)

Section 4.55(2) of the EP&A Act identifies mandatory matters to be assessed in respect of modification applications. **Table 1** considers the proposed modification against the relevant matters.

TABLE 1: SECTION 4.55(2) ASSESSMENT

MATTER	COMMENT
<p>(2) Other modifications A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if—</p> <p>(a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and</p>	<p>The development as modified is substantially the same development as discussed in Section 4.1 of this report.</p>
<p>(b) it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and</p>	<p>To be carried out by the consent authority.</p>
<p>(c) it has notified the application in accordance with—</p> <p>(i) the regulations, if the regulations so require, or</p> <p>(ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and</p>	<p>To be carried out by the consent authority.</p>
<p>(d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.</p>	<p>Any submission made will be considered.</p>
<p>3) In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.</p>	<p>The relevant provisions have been considered. Refer to Section 4.3.2 of this report.</p>
<p>(4) The modification of a development consent in accordance with this section is taken not to be the granting of development consent under this Part, but a reference in this or any other Act to a</p>	<p>Noted.</p>

development consent includes a reference to a development consent as so modified.

4.3.2 Section 4.15(1)

Section 4.15(1) matters

Section 4.55(3) of the EPA Act requires that the consent authority consider matters relevant to the development referred to in section 4.15(1). The table below addresses these matters.

TABLE 2: SECTION 4.15(1) ASSESSMENT

MATTER	COMMENT
(a) the provisions of— (i) any environmental planning instrument, and	Refer to the statutory compliance table at Appendix 8 of this report for an assessment against key relevant environmental planning instruments. Overall, it has been found that the proposed modification is generally consistent with relevant environmental planning instruments.
(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and	Not applicable.
(iii) any development control plan, and	Under clause 2.10 of <i>State Environmental Planning Policy (Planning Systems) 2021</i> , development control plans do not apply to SSD. However, the ‘guiding principles’ of the Jindabyne Development Control Plan (‘DCP’) have been considered, and it has been found that the proposed modification results in no inconsistencies to those principles. It is further noted that the Snowy Mountains Special Activation Precinct Master Plan, upon which the DCP aims to implement, has been considered and it is found to be generally consistent with the proposed modification.
(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and	Not applicable.
(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),	The application satisfactorily meets the relevant requirements of the <i>Environmental Planning and Assessment Regulation 2021</i> (EP&A Regulation), including the requirements relating to the procedures for and content of modification applications (Part 5, Division 1 of the EP&A Regulation).
(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and	The likely impacts of the development are considered in Section 6 of this report. Overall, it has been found the modification would result in no adverse impacts.

social and economic impacts in the locality,

(c) the suitability of the site for the development,	The proposed modification would not affect site suitability; the site would remain suitable for the school development following modification.
(d) any submissions made in accordance with this Act or the regulations,	Any submission made during notification will be considered.
(e) the public interest.	The proposed modification would not affect DPE's conclusion, as stated in its assessment report for the approved school, that the development is in the public interest.

Consent authority's reasons

The consent authority must also consider the reasons given by the consent authority for the grant of the consent that is sought to be modified.

The reasons for granting the consent, as stated in the notice of decision dated 10 August 2022, are as follows:

- the project would provide a range of benefits for the region and the State as a whole, including a new educational facility; 75 construction jobs, 90 operational jobs and an investment of \$65,184,561.
- the project is permissible with development consent, and is consistent with NSW Government policies including the:
 - NSW State Priorities
 - South East and Tableland Regional Plan 2036
 - Future Transport Strategy 2056
 - Snowy Mountains Special Activation Precinct Masterplan
- the impacts on the community and the environment can be appropriately minimised, managed or offset to an acceptable level, in accordance with applicable NSW Government policies and standards. The consent authority has imposed conditions requiring the delivery of infrastructure, the implementation of a School Transport Plan and the offsetting of biodiversity impacts; and
- the issues raised by the community during consultation and in submissions have been considered and adequately addressed through changes to the project and the conditions of consent.
- weighing all relevant considerations, the project is in the public interest.

The development as modified would still provide a range of benefits to the region and State as a whole, be consistent with NSW Government strategies, and result in no unacceptable or unmanageable impacts.

5 Engagement

No engagement with public authorities or the community has been carried out given the minor nature of the modification.

6 Assessment of impacts

6.1 Aboriginal Heritage

It was found during the assessment of the original application that there is a medium risk of Aboriginal heritage being impacted by the proposed development. The proposed modification does not alter the development in a manner that would increase the likelihood of impacts on Aboriginal heritage.

The proposed removal of Condition B20(b) of SSD-15788005, which requires the perpetual protection of the Aboriginal artefact “Jindabyne Campus AFT 2” (which is a quartz flaked piece), is no longer relevant as the artefact:

- is not within the project area of the Jindabyne Education Campus, and
- has since been destroyed by the construction of the adjoining TAFE.

NGH has also made a recommendation that Condition C28 of SSD-15788005 should require that “Aboriginal Custodians”, as opposed to the Local Aboriginal Land Council, be consulted in the event of unexpected finds and mitigation works. This is because Aboriginal custodians are not necessarily part of the Local Aboriginal Land Council. The proposed amendments to Conditions B20(b) and amendment of Condition C28 are addressed and justified in a letter prepared by NGH provided at **Appendix 6**.

6.2 Built form and urban design

The proposed modification will not significantly affect the overall bulk and scale of the development.

The proposed modification to the built form is relatively minor, consisting largely of walkway and undercroft screening, new water tanks, minor landscape and architectural amendments which are not anticipated to have any material impact on the built form of the development.

The general location of the heights of the buildings are maintained, with only a marginal increase in the height of development to suit detailed design requirements. The buildings maintain their contemporary design and materials.

A design statement by Pedavoli Architects is provided at **Appendix 7**.

6.3 Bushfire

A letter prepared by Blackash Bushfire Consulting accompanies this modification and confirms that the proposed landscape plan is satisfactory with regard to the relevant requirements of *Planning for Bushfire Protection*. The letter concludes that:

Based on the assessment of the plans, this Compliance Certificate is issued as recognition that the bushfire requirements are considered appropriately satisfied for the proposed development.

- *Condition A20 for construction has been met;*
- *Condition A21 for the provision of water, electricity and gas has been met;*
- *Condition A22 for the management of the site as an Inner Protection Zone has been met;*
- *Condition A23 has been met.*

This is to certify that we have carried out compliance with AS3959:2018 as applicable to the design for the Architectural documentation of the Jindabyne EC project.

As such, it is considered that the modification application is acceptable in relation to bushfire risk and management.

6.4 Biodiversity

The biodiversity offset requirement for the project is established under Condition A.41 and the ecosystem and credit requirements were met through payment into the Biodiversity Conservation Fund on 30 September 2022 (BCF437). This modification does not involve additional vegetation removal that would require further assessment under the Biodiversity Offsets Scheme.

Furthermore, a Biodiversity Management Plan (BMP) was prepared for construction to address Condition B21. The BMP established a 'Biodiversity Exclusion Zone' where work is not to occur. Accordingly, the landscaping plans have been updated to propose 190 trees outside of the Biodiversity Exclusion Zones so as to not disturb existing tree roots and other vegetation during planting. This change is not anticipated to have any adverse impact on biodiversity values at the site and will reduce the possibility of disturbance in the Biodiversity Exclusion Zones. As such, there are no anticipated adverse impacts of the proposed modification on biodiversity.

6.5 Stormwater Management

No adverse impacts are anticipated due to the proposed changes to the stormwater management strategy. Northrop reviewed the proposed modification and confirm the design is consistent with the Civil Report prepared by Northrop Consulting Engineers dated 28 October 2022, and the findings in the Post Development Discharge Plan (NRP-CEC-CC2-DWG-0603)) and Pre-Development Catchment Plan (NRP-CEC-CC2-DWG-0602) prepared by Northrop Consulting Engineers which support SSD-15788005 as modified. Additionally, the proposed amendment to the OSD discharge alignment will reduce the risk of scouring of the swale resulting in an improved long term maintenance outcome.

The changes continue to comply with standard engineering practice and Condition 26 of SSD-15788005 relating to the stormwater management system for the school as confirmed in the accompanying letter prepared by Northrop dated 6 August 2024 at **Appendix 4**.

6.6 Earthworks, Sediment, and Erosion

Erosion and sediment control measures change as the project progresses due to evolving site conditions. The erosion and sediment control plan submitted with MOD 1 has been updated in the amended civil plan set to reflect amended necessary works for site areas that now contain completed structures which remove the need for erosion and sediment control measures for these areas. The updated Sediment and Erosion Control Plan and associated details have been provided within the Civil drawing at **Appendix 2**.

An extract of the updated Sediment and Erosion Control Plan is provided below. Subject to implementing the required sediment and erosion control measures during construction, there will be no unacceptable environmental impacts with regard to soil and water management.

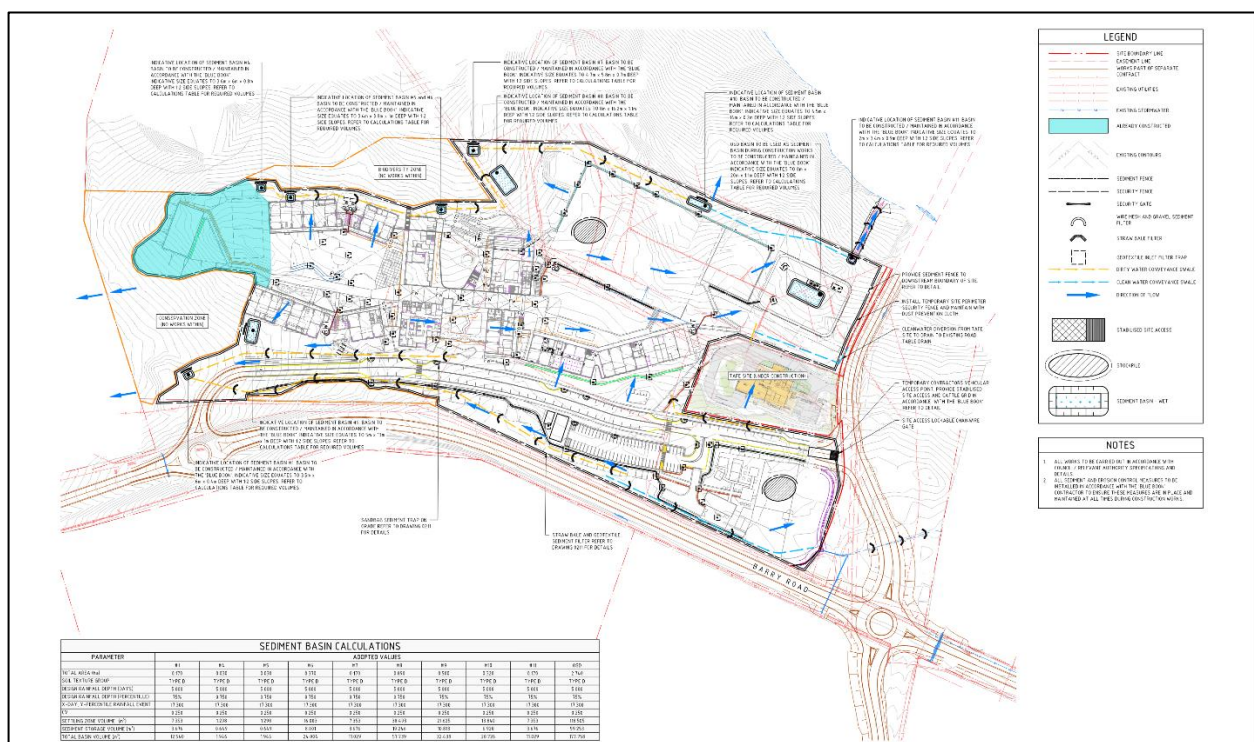


FIGURE 30: SEDIMENT AND EROSION CONTROL PLAN
Source: Northrop

6.7 Traffic circulation and parking

The replacement of the boom gates with swing gates on the north and south entrances to the site will facilitate smoother entry to and exit from the school grounds. The proposed amendment does not result in any adverse impact on traffic generation or circulation. Furthermore, the parking provision is not proposed to be amended as part of this application, as it does not seek to increase student or staff capacity.

6.8 TAFE Driveway Operation

The project boundary is marginally expanded to cross the boundary of the TAFE Campus at Lot 2 DP 12944123, 207 Barry Way. The marginal boundary expansion allows for the provision of a vehicle crossover to connect the internal JEC access road to the TAFE Campus to facilitate the drop off of materials to wood and metalwork classrooms.

It is noted that fencing proposes to separate school play areas from the path and that deliveries will only be undertaken outside of school operational hours and during school holidays. This will ensure there is no conflict between students and staff. It is further noted that, due to the limited number of trips to be made using this access road, there is no anticipated adverse impact on driveway operation.

Furthermore, given the access road will not be used often, no impacts are anticipated to the operations of the TAFE.

6.9 Other Impacts

Table 3 discusses other impacts. Overall, no notable adverse impacts have been identified.

TABLE 3: ASSESSMENT OF OTHER IMPACTS

MATTER	IMPACT
Non-Aboriginal heritage	It was found during the assessment of the original application that the proposal has been designed to avoid the contributory and surrounding heritage items, and results in a low heritage impact on the significance of the site. The proposed modification would not increase the likelihood of heritage impacts.
BCA and Access	The proposed amendment will not impact the ability of the development to comply with with the Deemed-to-Satisfy provisions, and Performance Requirements of the National Construction Code Series (Volume 1) Building Code of Australia 2019 Amendment 1.
Tree removal	The proposed modification will not result in the removal of additional trees compared to the approval under MOD 1.
Noise and vibration	The proposed modification would not increase noise or vibration during construction or operation phases. The findings and recommendations of the comprehensive acoustic assessment carried out as part of the original application remain valid.
Aviation	<p>The proposed additional height does not cause a breach of the Jindabyne Airstrip obstacle limitation surface.</p> <p>No further aviation impact assessment is required.</p> <p>Consultation with relevant stakeholders, including Jindabyne Aeroclub, is required in accordance with B13.</p>
Flooding	No flooding impacts are anticipated. The development would continue to be undertaken in accordance with the recommendations in the originally submitted civil engineering report.
Contamination	The proposed modification does not introduce any new uses, with a marginal extension into land owned by TAFE for access purposes. Further contamination investigation is not warranted.
Air quality	No additional impacts were identified.
Waste	The proposed modification involves the addition of a waste enclosure. However, the quantity and frequency of waste is not changed and the waste management plan prepared as part of the original application remains valid.
Geotechnical	No additional impacts or issues were identified.
ESD	The reduction in the number of solar panels will not have an adverse impact on ESD objectives as the amended design meets the relevant EFSG requirements for solar power at the campus, providing a single system with a 99.9kW output. The proposal maintains the ability to achieve the minimum 4-star Green Star rating with the Green Building Council of Australia as required under Condition B10 of the consent.
Environmental amenity	No additional impacts or issues were identified. The proposed changes will not notably affect views to or from the site, light spillage, overshadowing, or wind conditions.
Social and economic impacts	The proposed modification would result in no notable changes to the approved development's social or economic impacts.

7 Mitigation measures

The environmental assessment carried out as part of this modification has revealed no need for additional mitigation measures beyond those applied to the original development. The existing and proposed conditions of consent are sufficient for satisfactorily mitigating the potential impacts of the development as modified.

8 Justification of project

Overall, we consider the proposed modification to be appropriate on the basis that it:

- would result in substantially the same development as that approved;
- is consistent with the objects of the EP&A Act; and
- is in the public interest, being for the purposes of improving the functionality and operations of an approved school.

