

Modification Report

MOD 1 – SSD-15788005

New Education Campus at Jindabyne
(New Primary and High School)

On behalf of
NSW Department of Education

17 November 2022



Project Director

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17 November 2022

Contributors

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* This document is for discussion purposes only unless signed and dated by the Project Director.

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1 Introduction

This Modification Report has been prepared by Mecone Group Pty Limited on behalf of the NSW Department of Education (DoE) (the applicant) to seek changes to the approved primary school and high school at 207 Barry Way, Jindabyne, under section 4.55(2) of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

The proposed changes generally include four additional high school General Learning Spaces (GLSs), new one-storey building for relocated wood and metal technology spaces, one additional drop-off/pick-up (DOPU) space, relocation of visitor parking spaces, new structures on the Agricultural Plot, plus minor changes to floor levels, roof structures, floor-to-floor heights, building materials and finishes, internal layout changes, main entry, screens and sunshades, and minor realignment and regrading of the schools internal access road, car parking area, kiss and drop spaces and bus zone to the main entrance of the school. No trees are required to be removed to accommodate the proposed modification works.

This report has been prepared with consideration of the NSW Department of Planning and Environment's (DPE's) *State significant development guidelines – preparing a modification report* (November 2021).

1.1 Approved project

On 10 August 2022 the Minister for Planning and Public Spaces granted consent to SSD-15788005 for construction and operation of a new educational establishment consisting of a primary and high school at 207 Barry Way, Jindabyne.

The approved works include the construction of school buildings ranging from one to two storeys, general and special support learning area, staff rooms and administration office, hall, library, out of school hours car facility, landscaping works and open space improvements, parking, pick-up and set down zones, bus zones and loading areas, associated works including school identification signage and on-site infrastructure and utilities. No works has commenced on site to date; however, it is anticipated that the approved works will commence shortly.

Figure 1 below shows the approved site plan.

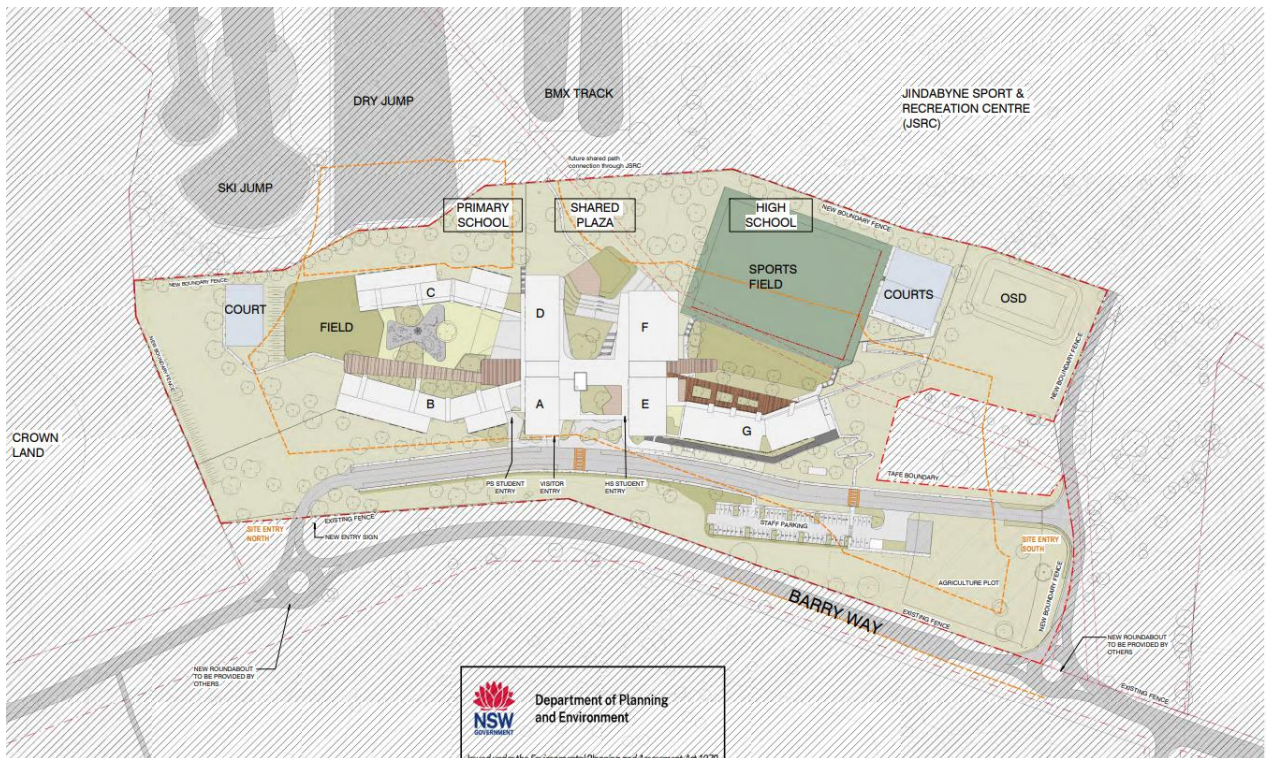


Figure 1. Approved school site plan
Source: djrd architects

1.2 Reasons for modification

The proposed changes are the result of design development and input from key stakeholders. During preparation of detailed documentation, the project team has identified changes that can be made to improve school operations and coordination with technical disciplines.

More detailed discussion on the specific reasons for the various changes is provided in **Section 2** of this report.

2 Description of modifications

2.1 Overview

The following modifications are proposed:

- Additional four high school GLS rooms added in Building G2. The wood and metal learnings spaces (previously in Building G2) have moved south into a new single storey Building G3.
- Transport-related changes including:
 - Modifications to the internal road works to better align with the off-site works, including the two roundabouts to Barry Way.

DOPU spaces moved to the southern two-thirds of the internal school road, closer to the campus pedestrian entry points.

- Regrading of the internal school road to provide more accessible gradients.
 - Minor realignment of the car parking area to better relate to the access road for pedestrian accessibility from car park to main entrance and minimise earthworks.
 - Widening of bus bays from 2.6m to 3m wide to comply with Australian Standards.
 - One additional DOPU space in the internal school road (total DOPU spaces increased from 53 to 54).
 - Four visitor spaces moved from the internal school road to car park (car park total spaces increased from 56 to 60).
- Changes to heights for Building A, B, C, D, E, F, G1 and G2. In particular, Building D height has increased by 295mm, and the height for the other buildings has reduced.
 - Materials and finishes have been rationalised. The design intent has been maintained with the actual materials substituted to provide products that are readily available and suit the application. Refer to elevation plans for details.
 - Design development of the Agriculture Plot resulted in the inclusion of new buildings and structures for the storage of machine and equipment including amenities and an office, rainwater tank, chook pen, potting out area, glass house, 2 covered outdoor learning areas, 12 raised seed beds, large pen, covered pens, 2 small paddocks, 2 large paddocks and associated access paths.
 - Other minor changes including:
 - Correction of clerical error at Condition A34(a).
 - Minor landscaping changes resulting from design development and alignment with Educational Facilities Standards and Guidelines (EFSG).
 - Minor changes to stormwater management strategy.
 - The floor levels of buildings have been modified slightly to better align with the revised internal road levels.
 - Design development of roof structures to simply roof form to improve structural and drainage outcomes for Buildings A, D, E, F, G1, G2 and G3.

- Floor-to-floor height has been lowered in high school Blocks G1 and G2.
- Internal room layouts adjusted to comply with National Construction Code (NCC), *Disability Discrimination Act 1992 (DDA)* and operational requirements.
- The main entry canopy as well as the screens and sunshades have been rationalised to ensure buildability has been considered.
- Civil, services and stormwater amendments to suit the changes noted above.

The above changes address buildability, compliance and operational issues while maintaining the original approved design intent.

The key changes are identified in the site plan mark-up below and discussed in further detail in the following sub-sections.

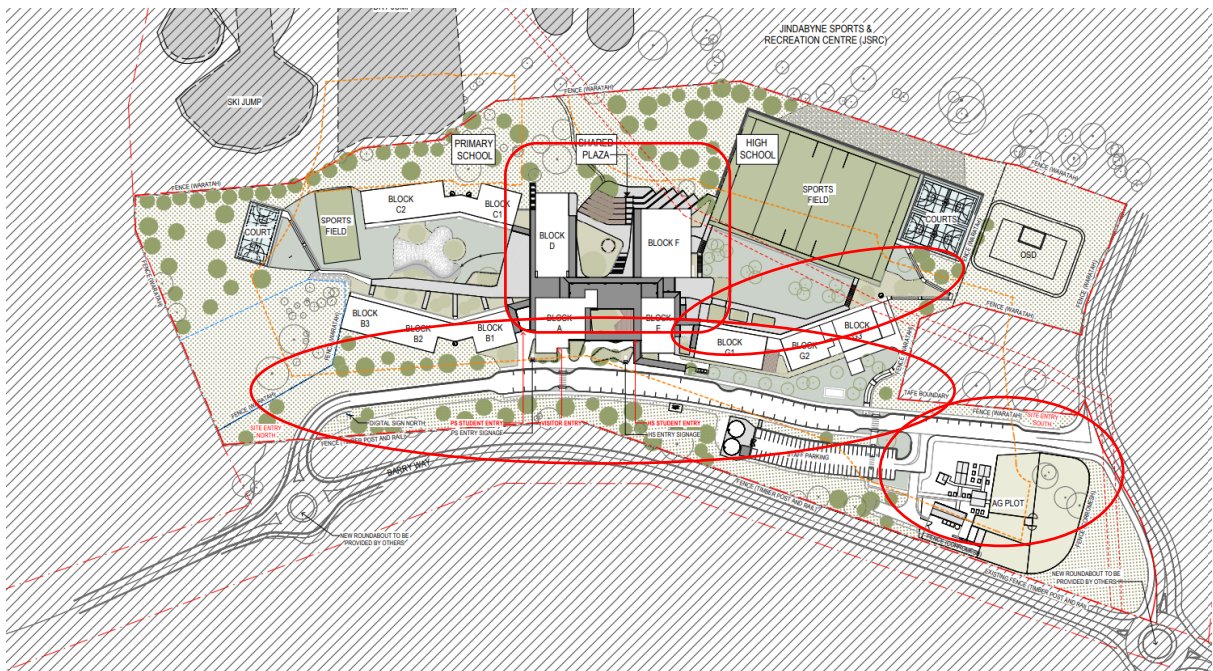


Figure 2. Updates site plan mark-up
Source: Pedavoli architects modified by Mecone

Updated architectural plans, landscape plans and civil drawings illustrating the changes are provided at **Appendix 1**, **Appendix 2** and **Appendix 3b**, respectively. Additionally, an updated civil report is provided at **Appendix 3a**.

2.2 Additional GLSs

In the approved design Building G consisted of two blocks—G1 and G2—with Block G2 containing the wood technology rooms with an outdoor space. Four additional GLS classrooms have been provided to Block G2 with minor

amendments to the internal layout. A new Block G3 now proposes to contain the wood technology rooms with the outdoor space.

The increase in the number of general learning spaces is a result of the demand and timetabling of the school. However, no change is proposed to the total student capacity of 925 and staff capacity of 90.

Extracts of the approved vs. proposed ground floor level plan are provided below.



Figure 3. Approved ground floor plan of Block G
Source: djrd architects

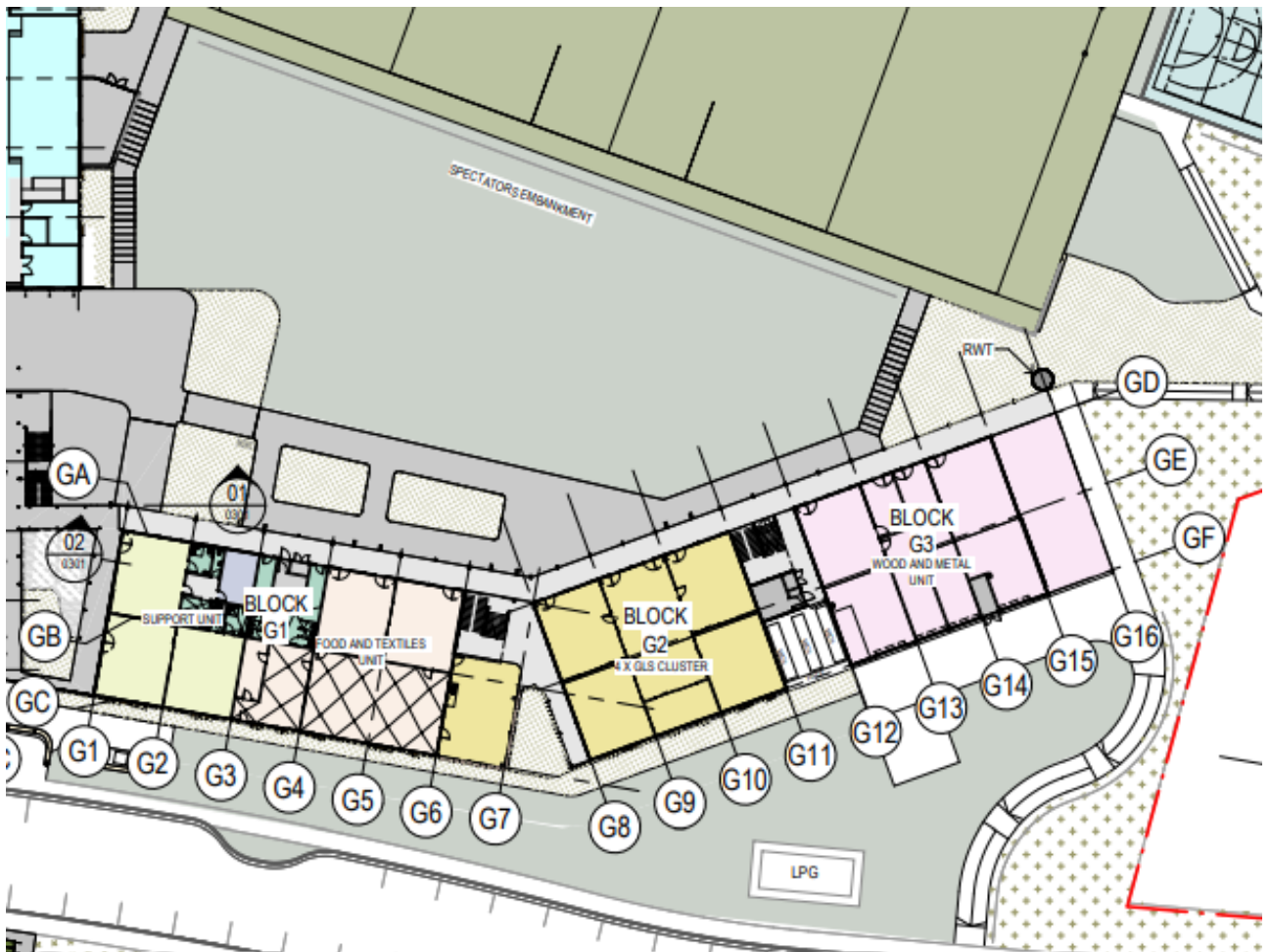


Figure 4. Proposed ground floor plan of Block G
Source: Pedavoli architects

2.3 Transport changes

The proposed transport-related changes include:

- Modifications to the internal road works to better align with the off-site works, including the two roundabouts to Barry Way.
- DOPU spaces moved to the southern two-thirds of internal school road, closer to the campus pedestrian entry points, providing for better access to the main entry points.
- Regrading of the internal school road to provide more accessible gradients.
- Minor realignment of the car parking area to better relate to the access road for pedestrian accessibility from car park to main entrance and minimise earthworks.
- Widening of bus bays from 2.6m to 3m wide to comply with Australian Standards.

- One additional DOPU space in the internal school road (total DOPU spaces increased from 53 to 54).
- Four visitor spaces moved from the internal school road to car park (car park total spaces increased from 56 to 60).

The changes are proposed primarily in order to improve accessibility and operations.

Student and staff parking location and quantity remain unchanged.

There are no significant changes to the design profile of internal school road, which will still provide an appropriate width to accommodate both two-way traffic and kerbside parking (DOPU spaces and bus bays).

The modification retains all of the approved on-site active transport infrastructure, as well as the approved connections to the future shared path in Barry Way.

Extracts of the approved vs. proposed site plan showing the key transport infrastructure are provided below.

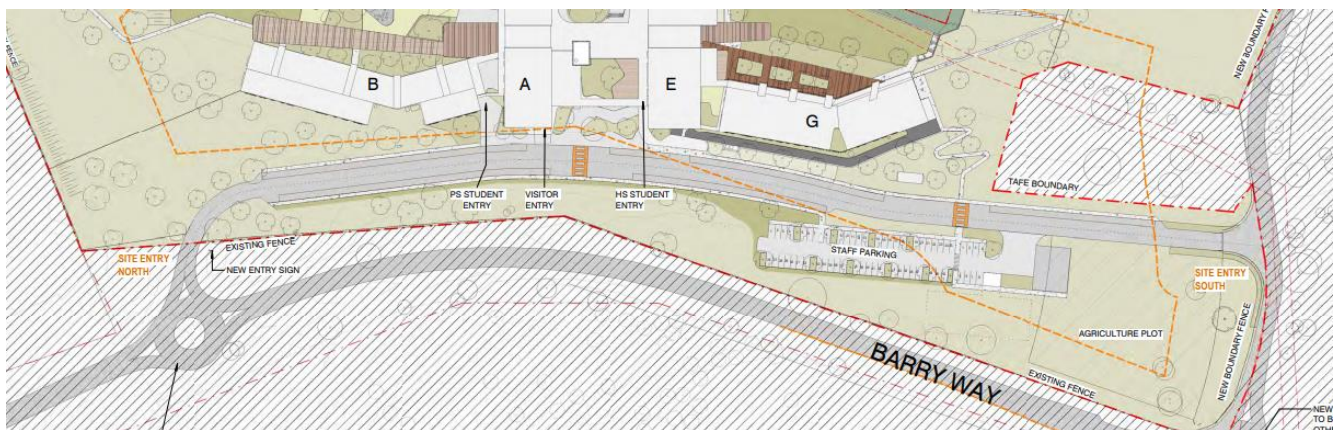


Figure 5. Approved site plan
Source: djrd architects

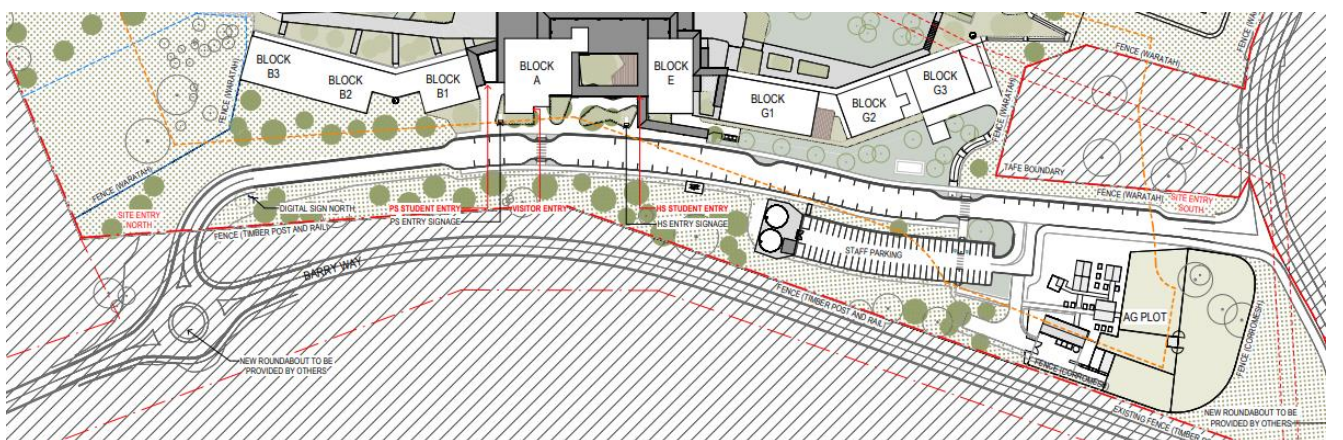


Figure 6. Proposed site plan showing access changes
Source: Pedavoli architects

2.4 Stormwater management strategy

The following changes are proposed to the stormwater management strategy:

- Replace bio-basin component of on-site detention (OSD) basin to a below-ground chamber with filter cartridges.
- Introduce an additional stormwater outlet that discharges stormwater runoff from a small portion of the site towards the northern boundary. The original scheme assumed that the whole site would discharge to the outlet in the south east corner of the site.

An updated civil report and drawings are attached at **Appendix 3a** and **Appendix 3b**, respectively.

2.5 Floor levels

The floor levels of buildings have been modified slightly to better align with the revised internal road levels. The four central buildings—A, D, E and F—now have the same RL to improve accessibility across the site.

This results in the floor levels of the southern buildings—A and E—rising by 350mm from +995.00 to +995.35, and the northern buildings—D and F—lowering by 350mm from +995.70 to +995.35. The associated ground levels have been modified to suit.

Extracts of the approved vs. proposed finished floor level (FFL) plans are provided below.

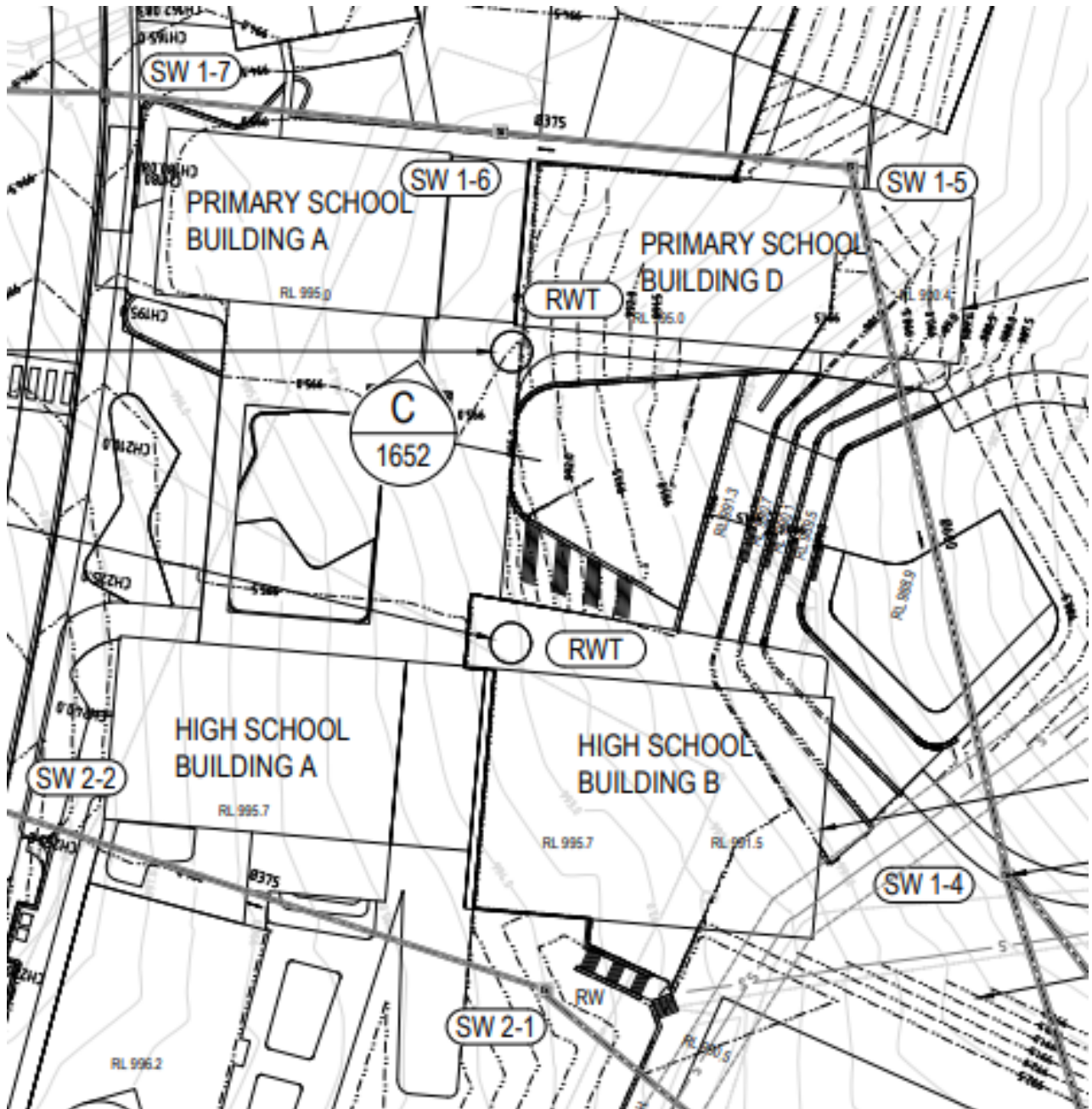


Figure 7. Approved finished floor levels
 Source: Cardno



Figure 8. Proposed finished floor levels
Source: Northrop

2.6 Roofs

The roof structure design has been simplified to improve structural and drainage outcomes.

Buildings G1, G2 and G3 now have a single pitch falling towards the internal portion of the site. All downpipes are located on the internal face, providing a neat presentation towards Barry Way and school frontage. The central courtyard roofs have been redesigned to add fall to allow drainage. The north-south link is repositioned to the east to allow the roof pitch of these roofs to be resolved.

The roof pitch of Buildings A, D, E and F has been increased slightly, from a 4% fall to 5% fall east and west, and decreased from 4% to 2% north and south at the centre of the buildings. This has been done in order to improve drainage outcomes.

Extracts of the approved vs. proposed roof plans are provided below.

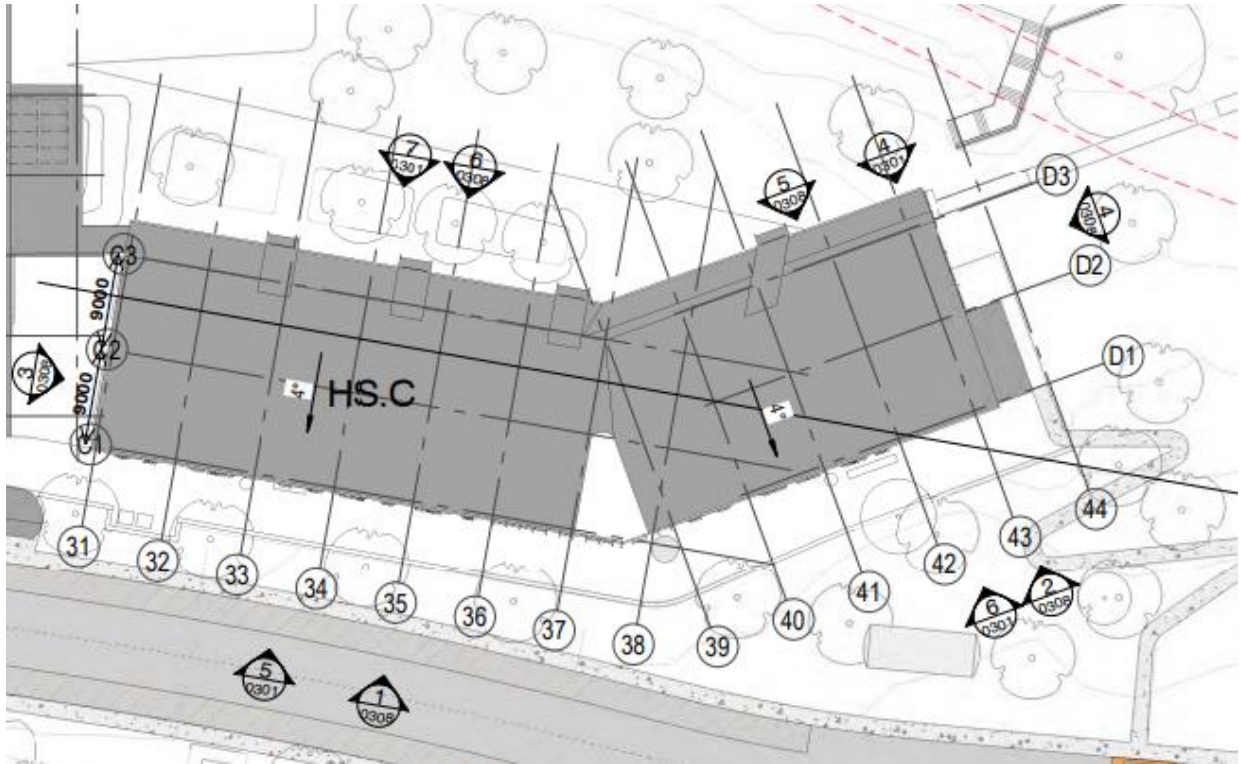


Figure 9. Approved roof plans Block G
Source: djrd architects

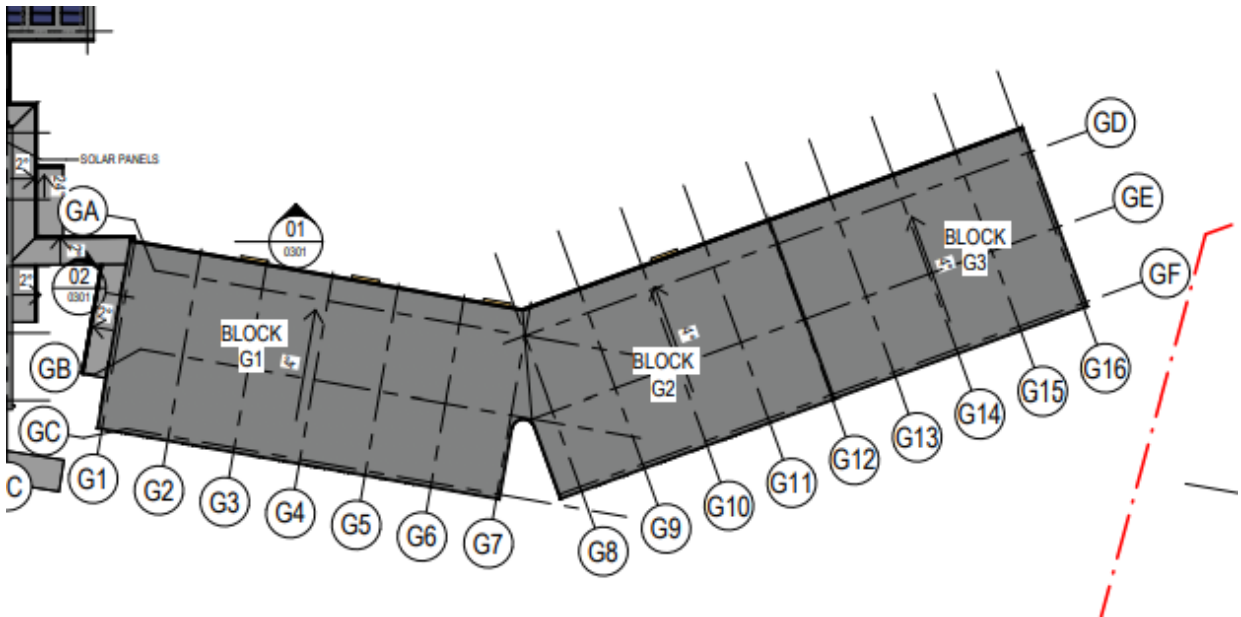


Figure 10. Proposed roof plans Block G
Source: Pedavoli architects

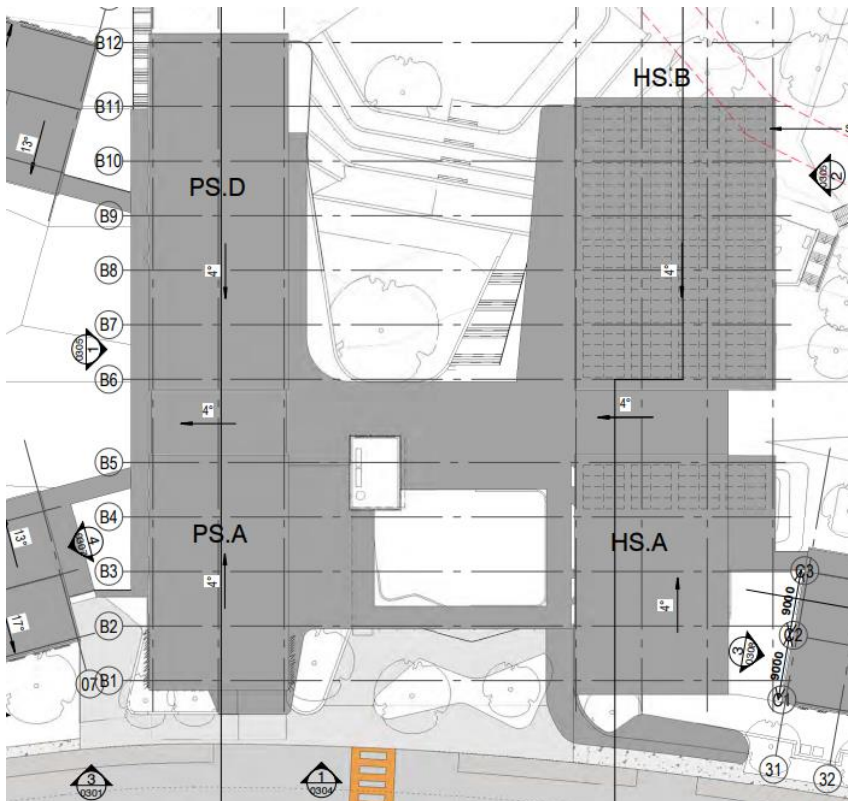


Figure 11. Approved roof plan Buildings A, D, E & F
Source: djrd architects

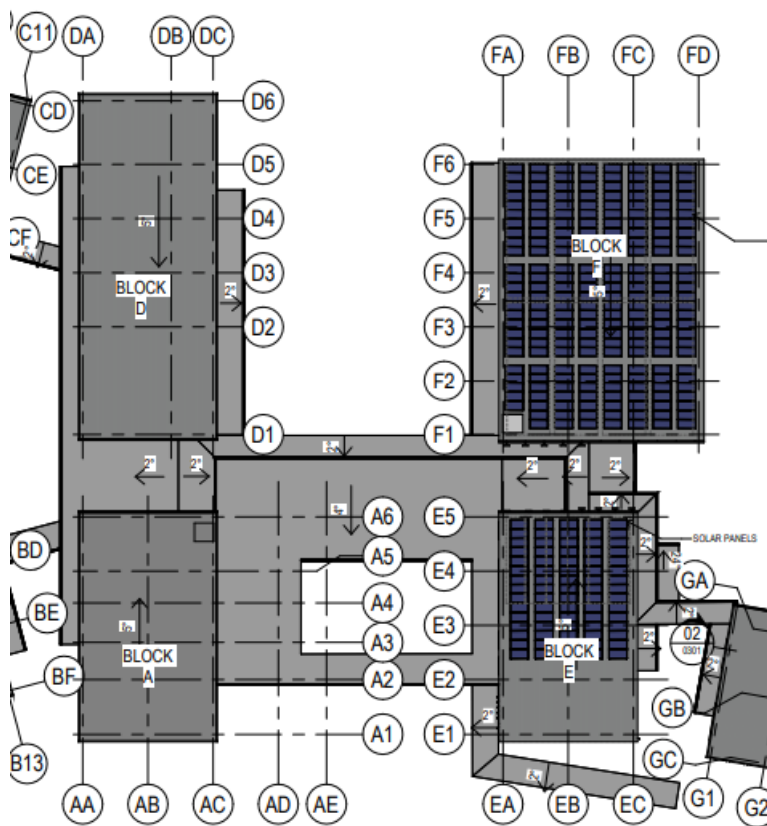


Figure 12. Proposed roof plan Buildings A, D, E & F

Source: Pedavoli architects

2.7 Floor-to-floor heights

The floor-to-floor height has been lowered in the high school Buildings G1 and G2—from 4000mm to 3700mm. Extracts of the approved vs. proposed levels are provided below.



Figure 13. Approved floor-to floor heights Buildings G1 & G2

Source: djrd architects



Figure 14. Proposed floor-to floor heights Buildings G1 & G2

Source: djrd architects

2.8 Building heights

Buildings heights have changed slightly due to the changes to levels:

- Building D has been slightly risen. Building D approved R.L. 1006.935, proposed R.L. 1007.230 (+295mm) (**Figure 15** and **Figure 16**).
- Buildings A, B, C, E, F and G1/G2 have been lowered:
 - Building A approved R.L. 1006.467, proposed R.L. 1005.806 (-661mm).
 - Building B approved R.L. 1002.630, proposed R.L. 1001.800 (-830mm).
 - Building C approved R.L. 1002.687, proposed R.L. 1001.800 (-887mm).

- Building E approved RL 1007.399, proposed RL 1005.762 (-1637mm).
- Building F approved RL 1006.831, proposed RL 1006.454 (-377mm).
- Building G approved RL 1006.676, proposed RL is 1005.680 (-996mm). to RL 1001.58. Additionally, there is a new single storey component.



Figure 15. Approved north elevation Building D
Source: djrd architects



Figure 16. Proposed north elevation Building D
Source: Pedavoli architects

2.9 Agriculture Plot

Design development of Agriculture Plot has resulted in the inclusion of new buildings and structures and modification of levels.

The Agricultural Plot proposes to include a building for the storage of machine and equipment including amenities and an office, rainwater tank, chook pen, potting out area, glass house, 2 covered outdoor learning areas, 12 raised seed beds, large pen, covered pens, 2 small paddocks, 2 large paddocks and associated access paths.

The new agricultural buildings and structures are supported by Bushfire Hazard Assessment prepared by Blackash Bushfire Consulting, dated 30 October 2022. A list of recommendation is made for the bushfire protection measures for the site to ensure compliance with Planning for Bushfire Protection 2019. The buildings are built to BAL 12.5 in accordance with the Australian Standards for Construction of Buildings in Bushfire Prone Areas.

Extracts of the approved vs. proposed Agricultural Plot are provided below.

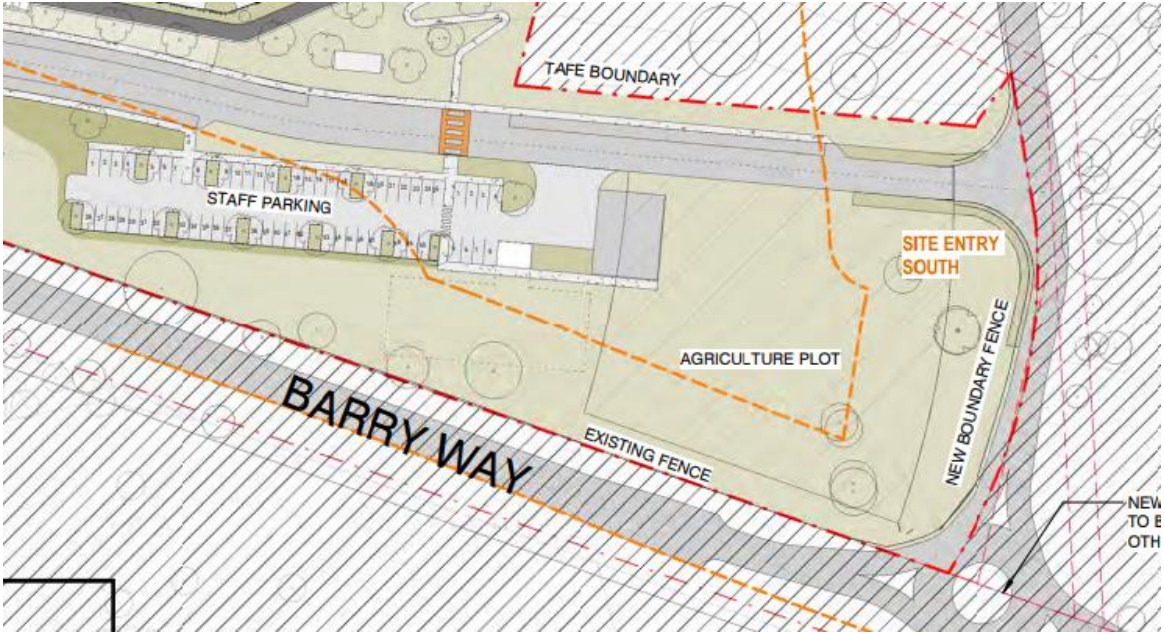


Figure 17. Approved Agricultural Plot layout
Source: djrd architects

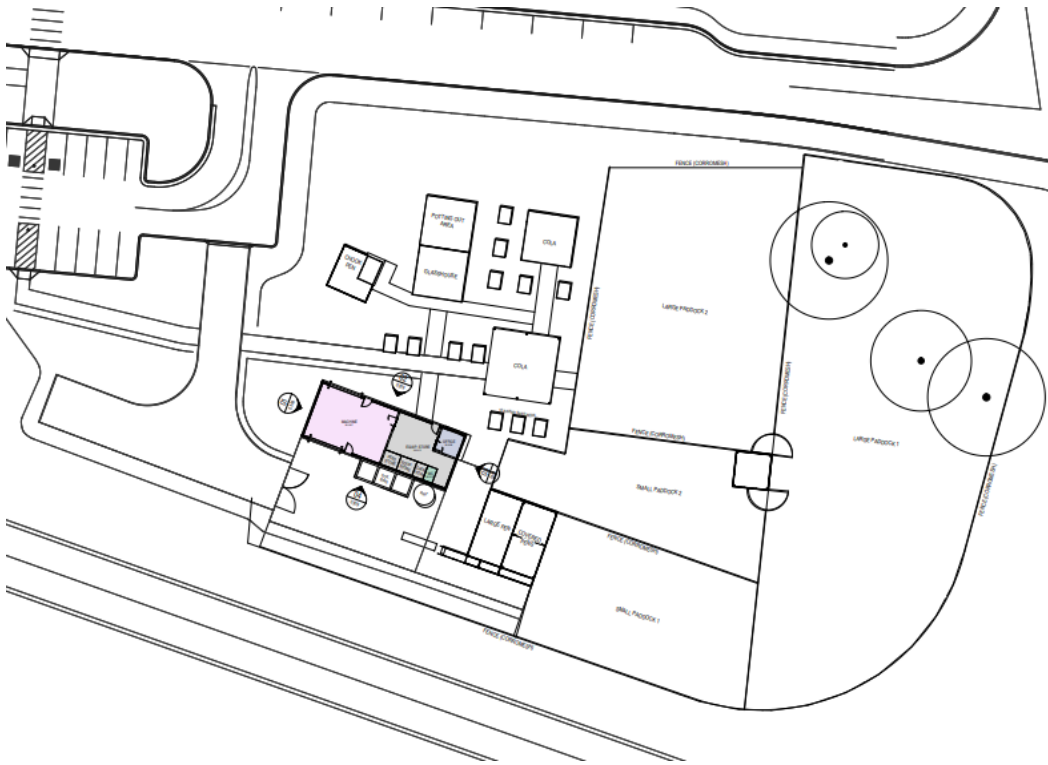


Figure 18. Proposed Agricultural Plot layout
Source: Pedavoli architects

2.10 Landscape refinements

The landscape scheme has been refined through the design development process to accommodate the proposed modification works. The following changes have been made:

- Northern boundary to include tree planting. Previous embankment not necessary.
- Pedestrian access to junior school court is via a more direct path with grass viewing bank retained.
- Playing field futsal outline is now included.
- Tree planting without understorey plantings is proposed along eastern boundary to lessen maintenance burden on the school.
- Artificial turf is replaced with real grass for environmental and health benefits.
- Pedestrian spine is reduced in width to decrease heat load from large areas of pavement.
- Growing gardens are increased in size.
- The pedestrian spine material is now in a range of concrete finishes, as the approved paving bricks are Educational Facilities Standards and Guidelines compliant.

- Open balustrade to wall top rather than stonework to lessen visual bulk.
- Meeting place sitting steps refined in shape and levels amended.
- Connection to playing field is improved with less paved area.
- Playing field size is updated to be 100m x 66m and still within Educational Facilities Standards and Guidelines parameters.
- Embankment along eastern boundary between field and boundary will now be a rock lined batter with a hydro mulch finish to develop native grass planting between rocks.
- Grassed viewing bank is increased in size. Access at north and south edge is via terrace steps to better integrate with the grassed bank. Mass planting area to top of bank is replaced with additional turf and shade trees.
- Pedestrian access between school and field is shortened and is now AS1428-compliant.
- Compacted gravel access path is removed and replaced with turf. The approved gravel path is unnecessary and non-compliant with Educational Facilities Standards and Guidelines.
- New shared accessway to service the relocated woodworking area and provide direct access from car park to playing field.
- Agriculture plot is now included with an updated layout that responds to road levels and retains the majority of site levels, grass and trees in this area.
- Carpark has been redesigned and shortened. Tree planting and water sensitive urban design is removed due to rock excavation. Additional trees are to be planted between carpark and Barry Way.
- The forecourt will retain the raised planters and integrate plaques and roses from existing school. Naming bricks are not proposed to be used.

Extracts of the approved vs. proposed landscape masterplan are provided below.



Figure 19. Approved overall landscape plan
Source: Site Image



Figure 20. Proposed overall landscape plan
Source: Taylor Brammar

2.11 Modifications to conditions

2.11.1 Condition A2

The physical changes described above will require changes to the approved plans at Condition A2. Words proposed to be deleted are shown in ~~strike through~~, and words to be inserted are shown in **bold italics**:

1. Terms of Consent

- A2. The development may only be carried out:
- in compliance with the conditions of this consent;
 - in accordance with all written directions of the Planning Secretary;
 - generally in accordance with the EIS and Response to Submissions and Supplementary Response to Submissions;
 - in accordance with the approved plans in the table below:

Architectural Plans prepared by djrd Pedavoli Architects			
Dwg No.	Rev	Name of Plan	Date
SSDA.0003 3332-SSDA-003	F J	Proposed Site Context Plan	03.05.21 16.11.22
SSDA.0005 3332-SSDA-005	D H	Demolition Plan	03.05.21 16.11.22
SSDA.0101 3332-SSDA-0101	N R	Proposed Site Plan	03.05.21 16.11.22
SSDA.0201 3332-SSDA-0201	L O	Lower Ground Floor Plan	03.05.21 14.11.22
SSDA.0202 3332-SSDA-0202	K O	Ground Floor Plan	03.05.21 16.11.22
SSDA.0203 3332-SSDA-0203	J M	First Floor Plan	03.05.21 14.11.22
SSDA.0204 3332-SSDA-0204	J M	Roof Plan	03.05.21 14.11.22
3332-SSDA-0205	C	Primary School Ground Floor Plan	14.11.22
3332-SSDA-0206	C	Primary School First Floor Plan	14.11.22
3332-SSDA-0207	C	High School Lower Ground	14.11.22
3332-SSDA-0208	C	High School Ground Floor Plan	14.11.22
3332-SSDA-0209	C	High School First Floor Plan	14.11.22
3332-SSDA-0210	D	Agricultural Plot Plan	16.11.22
SSDA.0301 3332-SSDA-0301	E I	Elevations	03.05.21 16.11.22
SSDA.0302 3332-SSDA-0302	F I	Sections	03.05.21 14.11.22
SSDA.0303 3332-SSDA-0303	D G	Sections	22.06.21 14.11.22
SSDA.0304	G	Elevations – Plaza	12.03.21

SSDA.0304 3332-SSDA-0304	J J	Elevations - Plaza Elevations- Plaza- Sheet 01	14.11.22 14.11.22
SSDA.0305 3332-SSDA-0305	G J	Elevations - Plaza 2 Elevations- Plaza- Sheet 02	16.03.21 14.11.22
SSDA.0306 3332-SSDA-0306	G J	Elevations - Plaza Internal Elevations- Plaza- Sheet 02	16.03.21 14.11.22
SSDA.0307 3332-SSDA-0307	G J	Primary School Elevations Elevations- Primary School	12.03.21 14.11.22
SSDA.0308 3332-SSDA-0308	G J	High School Elevations Elevations- High School	12.03.21 14.11.22
SSDA.0309 3332-SSDA-0309	A C	Elevations - Agricultural Plot Elevations- Agricultural Plot	14.11.22 14.11.22
SSDA.0401 3332-SSDA-0401	D G	Façade Detail Section Detail	03.05.21 14.11.22
SSDA.0402 3332-SSDA-0402	D G	Façade Detail Section Detail	03.05.21 14.11.22
SK0005-01	A	Agricultural Unit - Elevations	22.06.22
Landscape Plans prepared by Site Image Taylor Branner Landscape Architects			
Dwg No.	Rev	Name of Plan	Date
SS20-4530-000 L000	06 E	Landscape Cover Sheet	31.05.22 15.11.22
SS20-4530-001 L100	07 E	Landscape Plan - Site Landscape Master Plan	31.05.22 15.11.22
SS20-4530-101 L101	06 E	Landscape Plan - North Landscape: Finishes Plan	31.05.22 15.11.22
SS20-4530-102 L102	05 E	Landscape Plan - Central Landscape: Finishes Plan	16.12.21 15.11.22
SS20-4530-103 L103	05 E	Landscape Plan South Landscape: Finishes Plan	16.12.21 15.11.22
SS20-4530-104 L104	05 E	Landscape Plan - West Landscape: Finishes Plan	18.12.21 15.11.22
SS20-4530-601 L105	03 E	Landscape Sections Landscape: Finishes Plan	11.11.21 15.11.22
SS20-4530-602 L106	03 E	Landscape Sections Landscape: Finishes Plan	11.11.21 15.11.22
SS20-4530-603 L107	03 E	Landscape Sections Landscape: Finishes Plan	11.11.21 15.11.22
SS20-4530-901 L108	07 E	Existing Tree Plan Landscape: Finishes Plan	31.05.22 15.11.22
SS20-4530-902 L200	06 E	Canopy Cover Plan Landscape: Cross-sections	31.05.22 15.11.22
L201	E	Landscape: Cross-sections	15.11.22
L202	E	Landscape: Cross-sections	15.11.22
L300	E	Landscape: Existing Tree Study	15.11.22
L301	E	Landscape: Canopy Cover Plan	15.11.22
Civil Plans prepared by Cardno Northrop			
Dwg No.	Rev	Name of Plan	Date

80820348-05- CI-1141 NRP-CEC-SSDA-DWG-0001	8 C	Cut/Fill Earthworks Plan Cover sheet, Drawing Schedule & Locality Plan	01.06.2022 4.11.22
80820348-05- CI-1301-1303 NRP-CEC-SSDA-DWG-0111	5 A	Stormwater Drainage Plan – Sheet 1 Specification Notes- Sheet 01	27.10.2021 10.11.22
NRP-CEC-SSDA-DWG-0111	A	Specification Notes- Sheet 02	10.11.22
80820348-05- CI-1301-1303 NRP-CEC-SSDA-DWG-0201	5 C	Stormwater Drainage Plan – Sheet 2 Concept Sediment & Erosion Control Plan	27.10.2021 4.11.22
80820348-05- CI-1301-1303 NRP-CEC-SSDA-DWG-0211	5 C	Stormwater Drainage Plan – Sheet 3 Sediment & Erosion Control Details	27.10.2021 4.11.22
80820348-05- CI-1504-1505 NRP-CEC-SSDA-DWG-0301	2 C	Retaining Walls Layout Plan – Sheet 1 Bulk Earthworks Cut & Fill Plan	27.10.2021 4.11.22
80820348-05- CI-1504-1505 NRP-CEC-SSDA-DWG-0401	2 C	Retaining Walls Layout Plan – Sheet 2 Siteworks & Stormwater Management Plan - Sheet 01	27.10.2021 4.11.22
80820348-05- CI-1651-1653 NRP-CEC-SSDA-DWG-0402	3 D	Site Sections – Sheet 3 Siteworks & Stormwater Management Plan - Sheet 02	27.10.2021 4.11.22
NRP-CEC-SSDA-DWG-0403	C	Siteworks & Stormwater Management Plan - Sheet 03	4.11.22
NRP-CEC-SSDA-DWG-0431	C	Access Road Longitudinal Sections-Sheet 01	4.11.22
NRP-CEC-SSDA-DWG-0451	D	Access Road Cross Sections - Sheet 01	4.11.22
NRP-CEC-SSDA-DWG-0521	A	Stormwater Longitudinal Sections- Sheet 01	4.11.22
NRP-CEC-SSDA-DWG-0522	A	Stormwater Longitudinal Sections- Sheet 02	4.11.22

NRP-CEC-SSDA-DWG-0591	C	Stormwater Catchment Plan- Sheet 01	4.11.22
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2.11.2 Condition A34(a)

It is proposed to delete Condition A34(a), which makes reference to a compliance report that is not required. The proposed amendment is shown below, with the text to be deleted in ~~strike through~~:

A34. Within three months of:

- ~~(a) the submission of a compliance report under condition **Error! Reference source not found.**;~~
- ~~(b) (a)~~ the submission of an incident report under condition A30;
- ~~(c) (b)~~ the submission of an Independent Audit under condition C41 or C42;
- ~~(d) (c)~~ the approval of any modification of the conditions of this consent; or
- ~~(e) (d)~~ the issue of a direction of the Planning Secretary under condition A2 which requires a review,

the strategies, plans and programs required under this consent must be reviewed, and the Certifier must be notified in writing that a review is being carried out.

2.11.3 Condition C19(c)

This condition must be updated to refer to the updated arboricultural report. The proposed amendment is shown below, with words to be added in **bold italics** and words to be deleted in ~~strike through~~.

C19. For the duration of the construction works:

- (a) street trees must not be trimmed or removed unless it forms a part of this development consent or prior written approval from Council is obtained or is required in an emergency to avoid the loss of life or damage to property;
- (b) all street trees immediately adjacent to the approved disturbance area, not approved for removal, must be protected at all times during construction in accordance with Council's tree protection requirements. Any street tree, which is damaged or removed during construction due to an emergency, must be replaced, to the satisfaction of Council;
- (c) all trees on the site that are not approved for removal must be suitably protected during construction as per the recommendations of the Arboricultural Impact Assessments prepared by Eco Logical Pty Ltd dated ~~10 December 2021~~ **15 November 2022**.
- (d) if access to the area within any protective barrier is required during

the works, it must be carried out under the supervision of a qualified arborist. Alternative tree protection measures must be installed, as required. The removal of tree protection measures, following completion of the works, must be carried out under the supervision of a qualified arborist and must avoid both direct mechanical injury to the structure of the tree and soil compaction within the canopy or the limit of the former protective fencing, whichever is the greater.

3 Strategic context

The modified development would remain consistent with relevant State and local strategic plans and strategies. In particular, the modified development would remain consistent with:

- Transport for NSW's *Future Transport Strategy 2056*, as it would provide a new educational establishment in an accessible location and provide access to additional new employment opportunities.
- Infrastructure NSW's *State Infrastructure Strategy 2018 – 2038 Building the Momentum*, as provides facilities to support the growth in demand for primary student enrolments and a school design to accommodate infrastructure and facilities sharing with communities.
- Council's Local Strategic Planning Statement, through the provision of a new primary and high school that is fit for purpose with modern and accessible facilities.
- *NSW South East and Tablelands Regional Plan 2036*, as it would provide a new school that is essential for achieving a connected and prosperous economy.
- Snowy Monaro 2040 Community Strategic Plan in that it would promote education and lifelong learning opportunities for the younger population.
- Snow Mountains Special Activation Precinct Masterplan in that it provides for a school in the location identified within the Sports and Education Sub-Precinct of the Jindabyne Catalyst Precinct.

4 Statutory context

4.1 Scope of modifications

This application is being made under section 4.55(2) of the EP&A Act, which enables the consent authority to amend an approved application provided that, inter-alia, the modification result in substantially the same development as that approved.

We consider that the proposed modification would result in substantially the same development because it would not change the development's land use or alter the essence of the development as a public primary and high school. The overall

physical appearance of the schools, its area and its operations would not change.

A comparative table is provided below outlining the changes of the main aspects of the development.

Aspect	Approved Development	Modified Development
Project summary	Construction and operation of the Jindabyne new education campus comprising of single and double storey buildings, and associated work including demolition, tree removal, access and landscaping, car parking and installation of utilities to accommodate up to 925 students and 90 staff	No change
Demolition	Demolition of three existing dwellings, bitumen roads and site fencing.	No change
Built Form	<p>The primary school campus will be single storey and arranged in a U shape surrounding a central play space area. The campus will include 20 classrooms, amenities, special learning spaces a library, and outdoor and hardstand courts.</p> <p>The high school campus will be two storeys and is linear in shape. The campus will include 20 classrooms, amenities, special learning spaces, a library, a sports field and hardstand courts.</p> <p>The two campuses will be connected by a 'shared plaza' within the centre of the site. The building will be two storeys and will include communal facilities including administration, hall and gym.</p>	<p>Primary school no change</p> <p>High School 4 additional General Learning Spaces</p> <p>No Change</p>
Site area	9.52 Ha	No change
Gross floor area (GFA)	9,653m ²	9,917.74 m ²
Uses	Educational Establishment	No change
Access	Vehicular and pedestrian access point off Barry Way Road along the western	Realignment and regrading of the internal school road

	boundary including two new roundabouts and a connecting internal road.	
Car parking	113 on-site parking spaces consisting of: <ul style="list-style-type: none"> • 50 staff spaces in a carpark • 6 student spaces in a carpark • 57 spaces along the internal road reserve including 53 'kiss and ride' spaces and 4 visitor spaces 4 bus bays 	-1 additional 'kiss and ride' space in the internal school road. -Relocation of 4 visitor spaces from the internal school road to the carpark area.
-Bicycle parking	50 bicycle parking spaces (with capacity for an additional 50 bicycle parking spaces when demand increases) and end-of-trip facilities.	No Change
Public domain and landscaping	Removal of 115 trees on site Planting of 175 trees, plus shrubs and groundcovers	Removal of 109 trees on site and landscaping refined.
Hours of operation	7:00am to 6:00pm Monday to Friday. The hall, gym and sports fields will also be used outside of standard hours on weekdays until 10pm for special school events such as presentation nights, drama, or music recitals and available for community hire.	No Change
Signage	Three individual letter signage depicting the main entries for the primary school, high school, and visitor/administration building.	No change
Jobs	Operational: 90 Construction: 75	No change

Therefore, DPE can be satisfied that the proposed modification is within the scope of section 4.55(2) of the EP&A Act and does not constitute a new development application.

4.2 Consent authority

The Minister for Planning is the consent authority for the application under section 4.5(a) of the EP&A Act. The Minister may delegate determination in accordance with the Minister's delegation dated 9 March 2022.

4.3 Mandatory matters for consideration

4.3.1 Section 4.55 of EP&A Act

Section 4.55 of the EP&A Act identifies mandatory matters to be assessed in respect of modification applications. **Table 1** considers the proposed modification against the relevant matters.

Table 1 – Section 4.55 of EP&A Act	
Matter	Comment
<p>(2) <i>Other modifications</i></p> <p><i>A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if—</i></p> <p><i>(a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and</i></p>	<p>The development as modified is substantially the same development as discussed in Section 4.1 of this report.</p>
<p><i>(b) it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and</i></p>	<p>To be carried out by the consent authority.</p>
<p><i>(c) it has notified the application in accordance with—</i></p> <p><i>(i) the regulations, if the regulations so require, or</i></p> <p><i>(ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and</i></p>	<p>To be carried out by the consent authority.</p>

Table 1 – Section 4.55 of EP&A Act

Matter	Comment
<p><i>(d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.</i></p>	<p>Any submission made will be considered.</p>
<p><i>(3) In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.</i></p>	<p>The relevant provisions have been considered. Refer to Section 4.3.2 of this report.</p> <p>The key reasons for granting the consent, as stated in the notice of decision dated 10 August 2022, are as follows:</p> <ul style="list-style-type: none"> • <i>the project would provide a range of benefits for the region and the State as a whole, including a new educational facility; 75 construction jobs, 90 operational jobs and significant capital investment in the region ;</i> • <i>the project is permissible with development consent, and is consistent with NSW Government policies including the:</i> <ul style="list-style-type: none"> – <i>NSW State Priorities</i> – <i>South East and Tableland Regional Plan 2036</i> – <i>Future Transport Strategy 2056</i> – <i>Snowy Mountains Special Activation Precinct Masterplan</i> • <i>the impacts on the community and the environment can be appropriately minimised, managed or offset to an acceptable level, in accordance with applicable NSW Government policies and standards. The consent authority has imposed conditions requiring the delivery of infrastructure, the implementation of a School Transport Plan and the offsetting of biodiversity impacts; and</i> • <i>the issues raised by the community during consultation and in submissions have been considered</i>

Table 1 – Section 4.55 of EP&A Act

Matter	Comment
	<p><i>and adequately addressed through changes to the project and the conditions of consent.</i></p> <ul style="list-style-type: none"> <i>weighing all relevant considerations, the project is in the public interest.</i> <p>The development as modified would still provide a range of benefits to the region and State as a whole, be consistent with NSW government strategies, and result in no unacceptable or unmanageable impacts.</p>
<p><i>(4) The modification of a development consent in accordance with this section is taken not to be the granting of development consent under this Part, but a reference in this or any other Act to a development consent includes a reference to a development consent as so modified.</i></p>	<p>To be carried out by the consent authority.</p>

4.3.2 Section 4.15 of EP&A Act

When determining a modification application, the consent authority must take into consideration the general matters for consideration that apply to development applications as set out in Section 4.15(1) of the EP&A Act. **Table 2** considers the proposed modification against these general matters.

Table 2 – Section 4.15(1) of EP&A Act

Matter for consideration	Comment
<p><i>(a) the provisions of—</i></p> <p><i>(i) any environmental planning instrument, and</i></p>	<p>Refer to the statutory compliance table at Appendix 6 of this report for an assessment against key relevant environmental planning instruments. Overall, it has been found that the proposed modification is generally consistent with relevant environmental planning instruments, with sufficient justification provided for any variation.</p>
<p><i>(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been</i></p>	<p>Not applicable.</p>

Table 2 – Section 4.15(1) of EP&A Act

Matter for consideration	Comment
<i>deferred indefinitely or has not been approved), and</i>	
<i>(iii) any development control plan, and</i>	Under clause 2.10 of <i>State Environmental Planning Policy (Planning Systems) 2021</i> , DCPs do not apply to SSD. However, the objectives of Snowy River Development Control Plan 2013 have been considered, and it has been found that the proposed modification is consistent with the objectives.
<i>(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and</i>	Not applicable.
<i>(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),</i>	The modification is consistent with the regulations where relevant.
<i>(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,</i>	The likely impacts of the development are considered in Section 6 of this report.
<i>(c) the suitability of the site for the development,</i>	The proposed modification would not affect site suitability; the site would remain suitable for the school development following modification.
<i>(d) any submissions made in accordance with this Act or the regulations,</i>	Any submission made during notification will be considered.
<i>(e) the public interest.</i>	The proposed modification would not affect DPE's conclusion, as stated in its assessment report for the approved school, that the development is in the public interest.

5 Engagement

The applicant discussed the proposed modification with DPE at a meeting on 10 October 2022.

Snowy Monaro Regional Council was consulted with regards to stormwater and the possibility of deleting the on-site detention (OSD) which was not supported by

Council. Following this consultation, a decision was made not to proceed with the deletion of the OSD due to the concerns raised by Council.

No other engagement with public authorities or the community has been carried out given the relatively minor nature of the modification.

6 Assessment of impacts

6.1 Built form and design

The proposed modification will not significantly affect the overall bulk and scale of the development.

The additional GLS at Building G3 extend as an integrated form off the existing building and are well set back from Barry Way, reducing visual impact.

The increase in height at Building D (+295mm) is minor, will not be apparent from the street given the sloping nature of the land, and will not cause any additional overshadowing to surrounding land uses.

The buildings maintain their contemporary and robust design, with facades incorporating a range of finishes, heights and textures to break up the building masses.

A design statement by Pedavoli architects is provided at **Appendix 7**.

6.2 Transport

A transport assessment (**Appendix 4**) supports the proposed modification. The assessment considers the updated plans and concludes the following:

- The modification does not provide for any changes in the number of students and staff to be accommodated at the campus, nor any changes to operating hours, and in turn no change to the traffic characteristics of the campus, as previously assessed and approved.
- The modification does not provide for any changes to the accessibility of the campus to the local road network, which will continue to be provided via the Barry Way and the internal school road roundabout to the north of the site, and a roundabout at the intersection of Barry Way and Recreation Road to the south of the site.
- The modification provides for revisions to the location of DOPU spaces such that they are provided in closer proximity to the campus pedestrian access points.
- The modification provides for the regrading of some sections of School Road to improve accessibility between the DOPU spaces and car park and pedestrian access points

- The modification provides for one additional DOPU space in School Road, and the relocation of the four visitor parking spaces to the car park, but this would in no way alter the trip generation or distribution of the campus as previously determined and approved.
- The modification retains 50 staff parking spaces and six student parking spaces in the car park (for a total of 60 spaces further to the relocation of the visitor spaces).
- All new/revised infrastructure has been designed to provide full compliance with Australian Standards and other relevant guidelines.

A total of 114 on-site parking spaces are provided consisting of 50 Staff spaces, 4 visitor spaces and 6 student spaces within the car park and 54 spaces along the internal road reserve including 50 'kiss and ride' spaces and 4 bus bays.

Given the findings of the assessment, no additional transport-related mitigation measures are required due to the modification.

6.3 Bushfire

The site is bushfire prone, and the proposed modification is supported by Bushfire Hazard Assessment (**Appendix 5**) which considers the proposed new structures.

The assessment notes that the main campus buildings as modified, including the new Building G3, are within the area originally identified for development and must be built to Bushfire Attack Level (BAL) 12.5.

The proposed Agricultural Plot buildings do not have any classrooms, and the structures are designated as "other" development under Planning for Bushfire Protection (PBP). While part of the Agricultural Plot machinery store (approximately 2m) is within the identified Special Fire Protection Purpose Asst Protection Zone (APZ), when treated as "other" development as per PBP, it meets BAL 12.5 for the vegetation type and slope. This is in line with the remainder of the school and affords basic ember protection to the machinery shed.

The recommendations within the bushfire assessment remain as per the original bushfire assessment submitted with the EIS for the project. No additional mitigation measures are required.

The APZ diagram showing the location of the Agricultural Plot is provided at **Figure 21**.

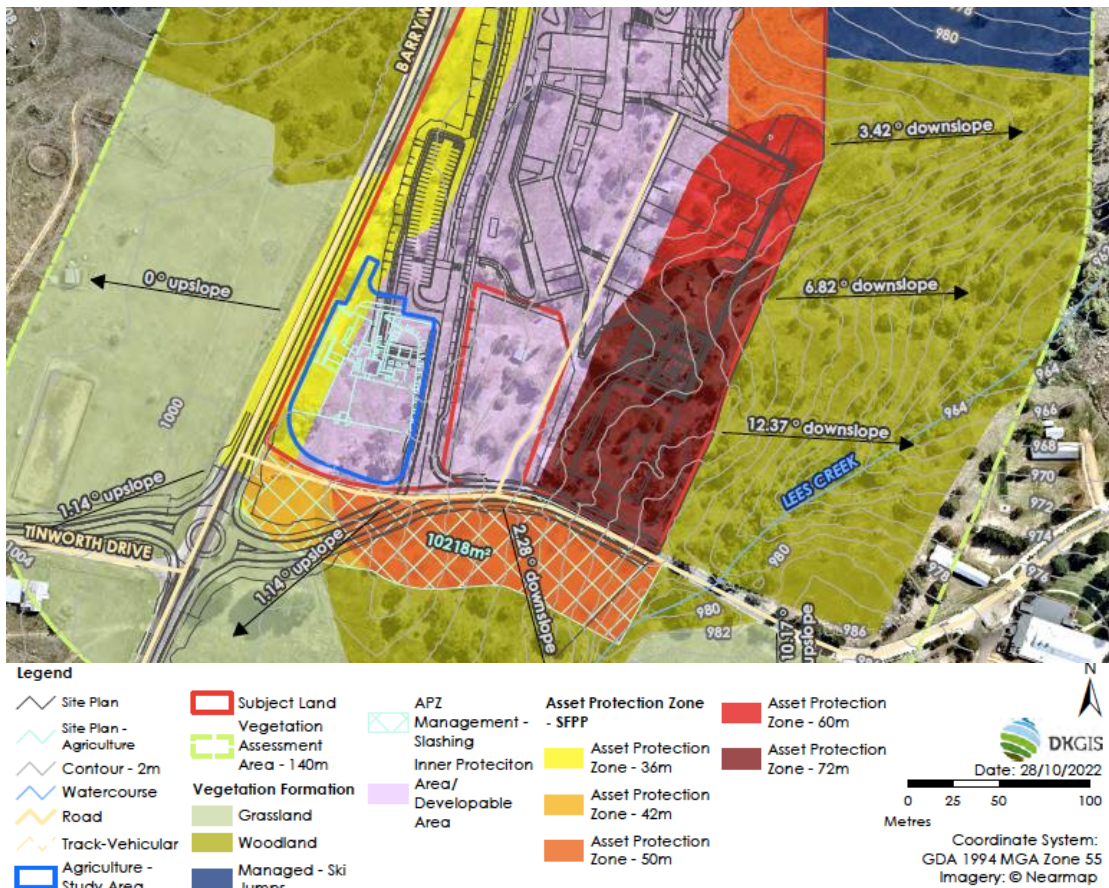


Figure 21. Asset protection zone showing Agricultural Plot
 Source: Blackash

6.4 Arboricultural

An arboricultural impact assessment (AIA) (**Appendix 8**) supports the proposed modification. The assessment considers the updated landscape plans and civil drawings and notes the impact of minor footprint changes resulting from these two plans mapped, and the extent was compared to the previous footprint. The encroachment of the proposed modification changes impact of the footprint into the TPZ/SRZ of each tree was reassessed as per the methods outlined in section 2 of the AIA (prepared by ELA, dated 10 December 2021).

The assessment determined the net result from the amended footprint for this modification is the retention of an additional six (6) trees when compared to the response to submissions design, and the retention of an additional 25 trees when compared to the original submission, as outlined in the table at **Figure 22**. To support the viable retention of any trees proposed to be retained, the mitigation measure outlined in Section 5 of the AIA (ELA 2021) are to be implemented in consultation with the Project Arborists (AQF Level 5 Consulting Arborist).

Table 1: Net outcome of proposed tree actions

Proposed Action	Modification 1	Response to Submissions*	AIA (Original Submission)
Retain / retain with mitigation measures	101	95	76
Remove	109	115	134

*AN ACCOMPANYING AIA UPDATE WAS NOT SUBMITTED WITH THIS RESPONSE

Figure 22. Net outcome of proposed tree actions
Source: ELA

6.5 Other impacts

Table 3 discusses other impacts. Overall, no notable adverse impacts have been identified.

Table 3 – Assessment of other impacts

Matter	Impact
Aboriginal cultural heritage	It was found during the assessment of the original application that there is a medium risk of Aboriginal heritage being impacted by the proposed development. The proposed modification does not extend the development footprint or otherwise alter the development in manner that would increase the likelihood of impacts on Aboriginal heritage.
Non-Aboriginal heritage	It was found during the assessment of the original application that the proposal has been designed to avoid the contributory and surrounding heritage items, and results in a low heritage impact on the significance of the site. The proposed modification would not increase the likelihood of heritage impacts.
Biodiversity	The original development was supported by a Biodiversity Development Assessment Report. The proposed modification does not involve additional vegetation removal or other impacts that would trigger additional biodiversity investigations.
Tree removal	The proposed modification is supported by an Arboricultural Impact Assessment provided at Appendix 8 and based on the amended footprint and the reassessment of each tree, 6 additional* trees are proposed retained.
Noise and vibration	The proposed modification would not increase noise or vibration during construction or operation phases. The findings and recommendations of the comprehensive acoustic assessment carried out as part of the original application remain valid.
Aviation	The proposed additional height does not cause a breach of the Jindabyne Airstrip obstacle limitation surface.

Table 3 – Assessment of other impacts

Matter	Impact
	No further aviation impact assessment is required. Consultation with relevant stakeholders, including Jindabyne Aeroclub, will occur in accordance with B13.
Flooding	No flooding impacts are anticipated. The development would continue to be undertaken in accordance with the recommendations in the originally submitted civil engineering report.
Stormwater management	No adverse impacts are anticipated due to the proposed minor changes to the stormwater management strategy. The strategy will continue to comply with Council's engineering specifications as confirmed in the civil report at Appendix 3b .
Sediment and erosion control	No additional impacts identified. Updated sediment and erosion control plan provided at Appendix 3b .
Contamination	The proposed modification does not introduce any new uses or extend the site area. No further contamination investigation is warranted.
Air quality	No additional impacts identified.
Waste	The proposed modification does not seek to change the waste management strategy for the development
Geotechnical	No additional impacts or issues identified.
ESD	No additional impacts or issues identified.
Environmental amenity	No additional impacts or issues identified. The proposed changes will not notably affect views to or from the site, light spillage, overshadowing, or wind conditions.
Social and economic impacts	The proposed modification would result in no notable changes to the approved development social or economic impacts.

7 Mitigation measures

The environmental assessment carried out as part of this modification has revealed no need for additional mitigation measures beyond those applied to the original development. The existing conditions of consent are sufficient for satisfactorily mitigating the potential impacts of the development as modified.

8 Justification of the project

Overall, we consider the proposed modification to be appropriate on the basis that it:

- would not result in significant adverse impact on the environment;
- would result in substantially the same development as that approved;
- is consistent with the objects of the EP&A Act; and
- is in the public interest.